

RENDERING IMAGE

D



FRANKLIN AVE. HOUSE

413 FRANKLIN AVE NW, WATERTOWN, MN 55388



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

PROJECT TEAM

CLIENT	CIVIL ENGINEER	LANDSCAPE ARCHITECT
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ARCHITECT	STRUCTURAL ENGINEER	MECHANICAL/ELECTRICAL
LHB, INC. 701 WASHINGTON AVENUE NORTH SUITE 200 MINNEAPOLIS, MN 55401 PHONE: (612) 338-2029 CONTACT: ANDY MADSON E-MAIL: ANDY.MADSON@LHBCORP.COM	MATTSON MACDONALD YOUNG 105 5TH AVE. S MINNEAPOLIS, MN 55401 PHONE: (612) 827-7825 CONTACT: ISAAC BLIEK E-MAIL: ISAACB@MMYENG.COM	DESIGN/BUILD

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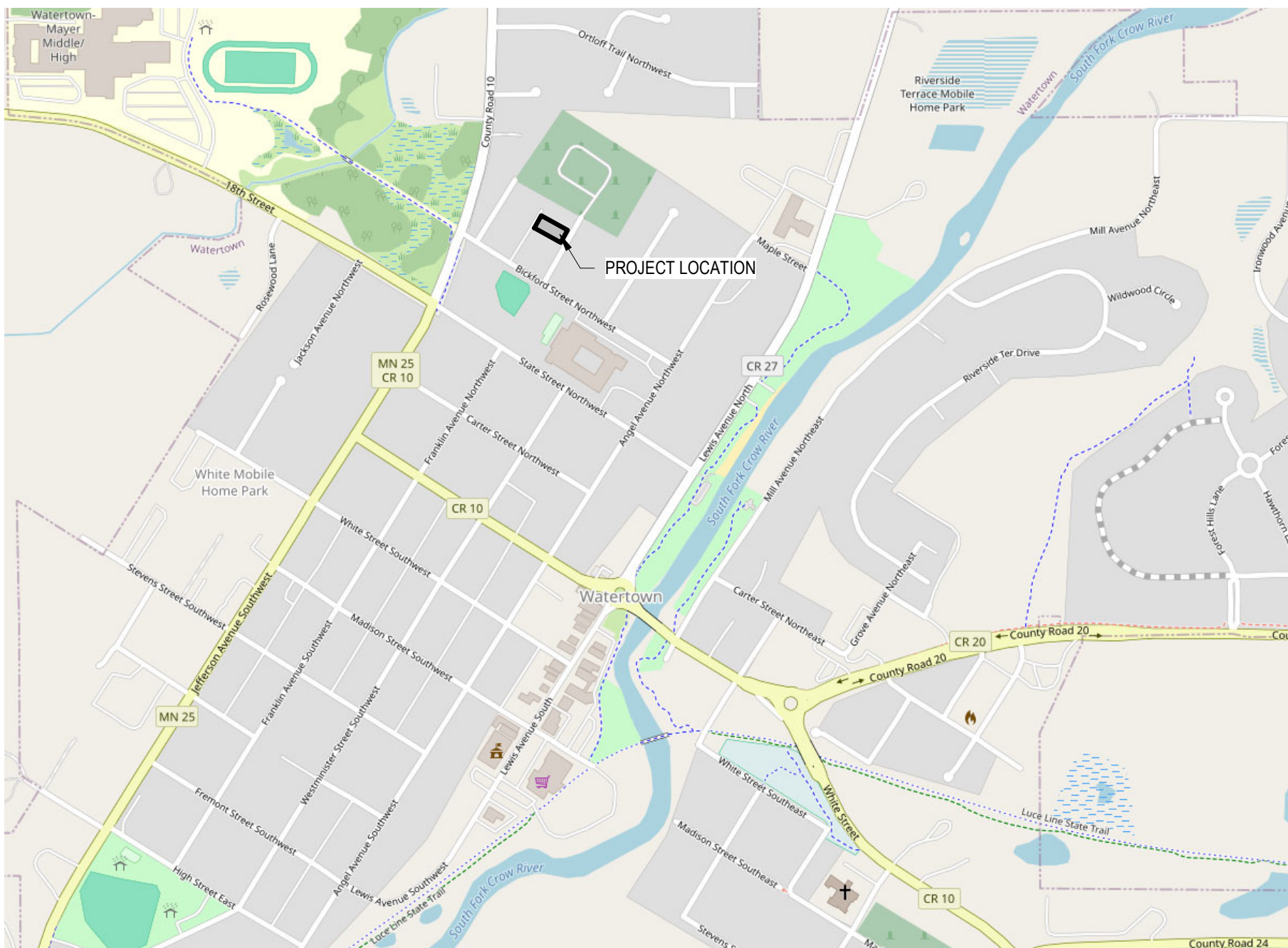
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BUILDING & UNIT DATA

HOUSE PLAN - 4 BEDROOM, 2 BATH		
AREA	FINISHED	UNFINISHED
FIRST FLOOR	1,046SF	
BASEMENT	768SF	278SF
GARAGE		484SF
TOTAL	1,814SF	762SF

LOCATION MAP



THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

10/22/24 CONSTRUCTION DOCUMENTS
NO DATE ISSUED FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andy Madson*

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:
FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:
PROJECT TITLE
SHEET

DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO:

G001

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE DETAILED SPECIFICATIONS.
- OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
- ANY WORK LOCATED ON PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR CONSTRUCTION OF THE CITY OF WATERTOWN PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, CURRENT EDITION.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, WARNING SIGNS, LIGHTS AND FLAGMEN AS PER THE CITY OF WATERTOWN PUBLIC WORKS REQUIREMENTS. COST SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. BARRICADES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE CIVIL PLANS ARE FOR INFORMATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS OF THESE ITEMS.
- ALL DEBRIS AND REFUSE RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF-SITE AND DISPOSED OF PROPERLY AT THE CONTRACTOR'S EXPENSE.
- UPON COMPLETION OF WORK, THE CONTRACTOR SHALL PROVIDE A SURVEY OF COMPLETED WORK FOR AS-BUILT SUBMITTAL TO THE CITY OF WATERTOWN.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING FEATURES DESIGNATED TO REMAIN, ANY FEATURES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL UNDERGROUND UTILITIES. UTILIZE THE ONE CALL EXCAVATION NOTICE SYSTEM OF "GOPHER ONE CALL" CALL 1-800-252-1166.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING. SEE SPECIFICATIONS FOR REQUIREMENTS.
- THE BUILDING LOCATION AND LAYOUT SHALL BE ESTABLISHED FROM THE ARCHITECTURAL AND STRUCTURAL PLANS. THE ELECTRONIC SITE DRAWING FILE SHALL NOT BE USED TO SET THE BUILDING LOCATION AND/OR LAYOUT. THE CONTRACTOR SHALL VERIFY THE BUILDING LOCATION WITH SITE INTERFACES INCLUDING BUT NOT LIMITED TO UTILITIES, SIDEWALKS, EXISTING GRADES, AND PROPOSED GRADES. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTING THE WORK. NOTIFY THE ENGINEER IF FIELD CONDITIONS VARY FROM THE PLAN.
- USE TEMPORARY CONSTRUCTION FENCING OR BARRIERS TO SECURE THE BUILDING SITE FOR PROTECTION OF PERSONS AND PROPERTY AS REQUIRED.
- PROTECT WETLAND BOUNDARIES WITHIN THE SITE.

REMOVAL NOTES

- EXISTING SITE INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY LOUCKS INC., PLYMOUTH, MN, DATED 08/28/24. ACTUAL FIELD CONDITIONS MAY VARY. VERIFY ALL FIELD CONDITIONS INCLUDING LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES AFFECTING THE SCOPE OF THIS CONTRACT.
- ALL HORIZONTAL AND VERTICAL INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY AND BOUNDARY SURVEY PREPARED BY LOUCKS. SEE SURVEY FOR BENCHMARK INFORMATION.
- PROTECT ALL PROPERTY CORNERS. RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
- THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY MARKING AUTHORITY PRIOR TO CONSTRUCTION.
- SEE SHEET C101 FOR THE SEDIMENTATION AND EROSION CONTROL PLAN. INSTALL EROSION AND SEDIMENTATION CONTROL PRIOR TO DEMOLITION.
- REMOVE TOPSOIL WITHIN LIMITS OF CONSTRUCTION. STOCKPILE ON-SITE FOR USE IN AREAS NOT SCHEDULED FOR BUILDING, PAVEMENT, OR SIDEWALK. COORDINATE REMOVAL OF ANY EXCESS TOPSOIL WITH OWNER.
- MAINTAIN ALL COMMUNICATION AND UTILITY SERVICES TO ALL BUILDINGS WHICH REMAIN OPERATIONAL. COORDINATE OUTAGES WITH OWNER AND UTILITY COMPANIES.
- SAWCUT EXISTING PAVEMENT WHICH ABUTS ALL NEW PAVEMENTS TO PROVIDE A STRAIGHT VERTICAL EDGE.
- COORDINATE WITH OWNER ANY MATERIAL OR EQUIPMENT TO BE SALVAGED.
- PROTECT BY WHATEVER MEANS REQUIRED ALL FENCES, SIGNS, STRUCTURES, DRIVES, SIDEWALKS, STREETS, BUSHES, TREES, ETC. WHICH ARE NOT DESIGNATED FOR REMOVAL, OR OUTSIDE THE LIMITS OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE INCURRED DURING CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, DAMAGE CAUSED BY SUBCONTRACTORS TO THE GENERAL CONTRACTOR. REPAIRS SHALL EQUAL OR EXCEED THE QUALITY OF EXISTING CONDITIONS.
- ALL EXISTING FEATURES (I.E. FENCES, STONEWALLS, ETC.) LOCATED WITHIN THE PROJECT LIMITS THAT HAVE NOT ALREADY BEEN REMOVED (BY OTHERS) MUST BE REMOVED AND DISPOSED OF OFF-SITE PROPERLY BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING UTILITY LINES SHALL BE REMOVED. CONTRACTOR SHALL COORDINATE REMOVALS WITH UTILITY COMPANIES TO ENSURE LINES ARE PROPERLY DISCONNECTED PRIOR TO REMOVAL.
- CONTRACTOR SHALL REMOVE AND/OR RELOCATE ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS WHETHER SPECIFICALLY CALLED OUT BY NOTE OR NOT.
- RELOCATE EXISTING IRRIGATION LINES AND APPURTENANCES THAT CONFLICT WITH PROPOSED CONSTRUCTION.

SITE PLAN NOTES

- REFER TO THE LAYOUT SHEET, 1/C102, FOR DIMENSIONS AND LOCATION OF SITE FEATURES.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP AND RAMP LOCATIONS.
- WHEN CONSTRUCTING BITUMINOUS PAVEMENT WITH AN UNSUPPORTED FREE EDGE, PROVIDE FORM-BOARD OR SAWCUT TO PROVIDE STRAIGHT VERTICAL EDGE.
- THICKENED PAVEMENT EDGE SHALL BE PROVIDED AT ALL FREE EDGES. SEE XC5XX.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES, AND FINISHED GRADES AS INDICATED ON THE PLANS. NO PONDING OF WATER WILL BE ALLOWED.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO MATCH EXISTING PAVEMENT GRADES AT TIE-IN POINTS. CUT CONTRACTION JOINTS AT EXISTING JOINT LOCATIONS.
- CONTINUE ALL JOINTS THROUGH THE CURB.
- SAW ALL CONCRETE CONSTRUCTION JOINTS, CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT.
- REINFORCE ODD SHAPED PAVING PANELS WITH #3 BARS AT 24" EACH WAY. AN ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.
- MATCH NEW CONSTRUCTION/CONTRACTION JOINTS WITH JOINTS IN ADJACENT CONCRETE.
- ENSURE POSITIVE DRAINAGE AT ALL PAVEMENT REPLACEMENT LOCATIONS.

LAYOUT PLAN NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP AND RAMP LOCATIONS.
- DIMENSIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF WALK, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- ALL RADII ARE 5'-0" UNLESS OTHERWISE NOTED.

GRADING NOTES

- BUILDING FINISHED FLOOR ELEVATION (FFE) OF 967.17 SHOWN ON GRADING PLAN CORRESPONDS TO ELEVATION 100'-0" ON ARCHITECTURAL PLAN SHEETS.
- GRADES SHOWN ARE FINISH SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL MAKE APPROPRIATE DEDUCTIONS FOR VARYING SURFACES TO DETERMINE SUBGRADE ELEVATIONS.
- ALL EXISTING AND PROPOSED STRUCTURE ACCESS COVERS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
- CONTRACTOR SHALL STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
- SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
- IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
- SEE SHEET 1/C101 FOR THE SEDIMENTATION AND EROSION CONTROL PLAN.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- UNLESS OTHERWISE NOTED, FINISH GRADE SHALL SLOPE AWAY FROM BUILDING WALL AT THREE PERCENT FOR A MINIMUM DISTANCE OF TEN FEET IN UNPAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.
- REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOD, TREES, AND SHRUBS, ETC.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLE STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 0.5%.
- ALL PAVEMENT GRADES SHALL BE AS FOLLOWS:
ASPHALT PAVEMENT - 1.5% MINIMUM, 4% MAXIMUM
CONCRETE PAVEMENT - 1% MINIMUM, 4% MAXIMUM

EROSION CONTROL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY NPDES PERMITS AND SHALL MAINTAIN SAID PERMITS AS REQUIRED BY THE REGULATORY AGENCY.
- THE EROSION CONTROL PLAN INCLUDED IN THE SET SHALL ACT AS THE POLLUTION PREVENTION PLAN AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER PERMIT. FAILURE TO IMPLEMENT THE CONTROLS AND PRACTICES OUTLINED WOULD RESULT IN VIOLATION OF THE ENVIRONMENTAL PROTECTION ACT AND CLEAN WATER ACT AND IS GROUNDS FOR PENALTIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES, NOTIFICATION, MAINTENANCE, MONITORING, AND RECORD KEEPING REQUIRED BY THE NPDES GENERAL PERMIT.
- CONTRACTOR SHALL MAINTAIN AN INSPECTION AND MAINTENANCE PROGRAM FOR ALL EROSION CONTROL MEASURES. THE INSPECTIONS SHALL BE COMPLETED AT LEAST EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.5 INCHES OR MORE. THE MAINTENANCE PROGRAM SHALL REPAIR AND RESTORE ALL EROSION CONTROL MEASURE DEFICIENCIES. DOCUMENTATION OF THE INSPECTIONS, THE FINDINGS, AND CORRECTIVE ACTIONS SHALL BE MAINTAINED AT THE JOB SITE.
- ESTABLISH EROSION CONTROL MEASURES AT THE BEGINNING OF CONSTRUCTION AND MAINTAIN DURING THE ENTIRE LENGTH OF CONSTRUCTION. AREAS WHICH ARE SUBJECT TO SEVERE EROSION AND OFF-SITE AREAS WHICH ARE ESPECIALLY VULNERABLE TO DAMAGE FROM EROSION AND/OR SEDIMENTATION ARE TO BE IDENTIFIED AND RECEIVE ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
- AT THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL CRUSHED STONE STABILIZED ENTRANCE AND EXIT DRIVE(S) TO REDUCE THE TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS. THE ENTRANCE/EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THE MAINTENANCE SHALL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS REQUIRE. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT USE ANY OTHER ACCESS TO THE SITE NOR ALLOW OTHERS TO USE ALTERNATE ACCESS POINTS.
- LOCATIONS OF STABILIZED CONSTRUCTION ENTRANCES INDICATED ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL ADJUST LOCATION AND SIZE OF ENTRANCES TO ACCOMMODATE CONSTRUCTION VEHICLES AND ACTIVITIES.
- COORDINATE ALL LAND DISTURBING ACTIVITIES AND CONDUCT SO AS TO MINIMIZE THE SIZE OF THE AREA TO BE EXPOSED AT ANY ONE TIME AND MINIMIZE THE TIME OF EXPOSURE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHOULD BE AVOIDED. COORDINATE ALL LAND DISTURBING ACTIVITIES SO AS TO MINIMIZE OFF-SITE SEDIMENTATION DAMAGE. RESTABILIZE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION IS COMPLETED.
- THE CONTRACTOR SHALL NOT DISTURB EXISTING VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION.
- PERIODICALLY CLEAN OUT AND DISPOSE OF ALL SEDIMENT ONCE THE STORAGE CAPACITY OF THE DRAINAGE FEATURE OR STRUCTURE RECEIVING THE SEDIMENT IS REDUCED BY ONE-HALF. CLEAN OUT AND DISPOSE OF ALL SEDIMENT AT THE COMPLETION OF THE PROJECT.
- PROVIDE ADDITIONAL ON-SITE PROTECTION, IN ADDITION TO THAT SHOWN SO THAT SEDIMENT IS NOT PERMITTED TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS OR ACCIDENTS.
- SCHEDULE TEMPORARY SEEDING OPERATIONS IMMEDIATELY AFTER SITE GRADING WORK IS COMPLETE.
- MAINTAIN TEMPORARY EROSION CONTROL DEVICES UNTIL PERMANENT FACILITIES ARE CONSTRUCTED AND FINAL STABILIZATION HAS OCCURRED.
- REMOVE THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AND VERIFY THE CLEANING OUT OF ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, AND DITCHES ONCE FINAL STABILIZATION HAS OCCURRED.
- TEMPORARY STOCKPILE LOCATIONS SHALL BE COORDINATED WITH THE OWNER.
- PROVIDE SILT FENCE AROUND STOCKPILES DURING CONSTRUCTION TO PREVENT SEDIMENT RUNOFF FROM THE SITE.
- PROVIDE EROSION CONTROL BLANKET ON ALL SLOPES 4 HORIZONTAL TO 1 VERTICAL OR STEEPER, AS SHOWN.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED CATCH BASINS WITHIN CONSTRUCTION LIMITS AND AS SHOWN.
- KEEP THE EROSION AND SEDIMENTATION PLAN AND ALL DISCHARGE MONITORING REPORTS ON-SITE FOR THE DURATION OF CONSTRUCTION.
- FABRIC SILT FENCE AND BIO-ROLLS SHALL BE CONSTRUCTED ACCORDING TO DETAIL 3/C501.
- ALL SILT FENCES SHOWN ARE PROVIDED AS A GUIDE TO THE CONTRACTOR AS A MINIMUM LEVEL OF PROTECTION AGAINST EROSION RUNOFF. CONTRACTOR SHALL ADD, ADJUST, AND MAINTAIN SILT FENCE AND/OR SILT DIKES AS NEEDED TO PROTECT FROM EXCESS EROSION AND SEDIMENT RUNOFF FROM THE SITE.
- THE CONTRACTOR MUST COMPLY WITH ALL NOISE AND DUST CONTROL ORDINANCES OF THE CITY OF WATERTOWN.
- ALL EROSION CONTROL FEATURES SHALL BE KEPT IN WORKING ORDER. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED BY SOIL EROSION AND CONSTRUCTION EQUIPMENT AT OR BEFORE THE END OF EACH WORKING DAY OR AS DIRECTED BY THE INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONTAINMENT DIKES OR OTHER PROTECTIVE MEASURES AROUND ALL ON-SITE FUELING AND CHEMICAL STORAGE AREAS.
- IN THE EVENT OF A RELEASE OF OIL OR HAZARDOUS SUBSTANCE, THE CONTRACTOR SHALL COMPLY WITH THE LOCAL, STATE AND FEDERAL REQUIREMENTS OF ENVIRONMENTAL QUALITY FOR NOTIFICATION, CONTAINMENT, INVESTIGATION, REMEDIAL ACTION AND DISPOSAL.
- DIVERSION BERMS AND LEVEL TERRACES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND AS NECESSARY TO PROPERLY CONTROL SEDIMENT, EROSION, AND PROTECT ADJACENT PROPERTIES. DIVERSION AND LEVEL TERRACES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, AT ANY TIME THAT RAIN IS FORECAST, AND AS DIRECTED BY THE INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTAINING ERODED MATERIALS WITHIN THE SITE AND PREVENTING ERODED MATERIALS FROM ENTERING EXISTING AND NEW STORM SEWER SYSTEMS BY INSTALLING FABRIC SILT FENCES, STRAW BALE DIKES, OR OTHER APPURTENANCES AS NECESSARY IN ADDITION TO WHAT IS SHOWN ON THE DRAWINGS.

UTILITY NOTES

- COORDINATE INSPECTION AND TESTING FOR ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES. COMPLY WITH ALL LOCAL REQUIREMENTS AND CONDUCT ALL TESTS TO THE SATISFACTION OF THE LOCAL AUTHORITIES.
- ALL UTILITIES AND CONDUITS WITH EXCEPTION OF FIRE SERVICE LINES SHALL TERMINATE 5' OUTSIDE THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE AUTHORIZED BY THE OWNER.
- REPORT ANY DISCREPANCIES TO THE ENGINEER, RECONNECT ALL SERVICES NOT MARKED FOR REMOVAL OR AS DIRECTED BY THE OWNER.
- REPAIR OF DAMAGED UTILITIES SHALL BE REPORTED THROUGH THE OWNER.
- CONTRACTOR SHALL IDENTIFY, FIELD VERIFY AND COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS AND UTILITY TIE-IN POINTS IN THE FIELD. REPORT CONFLICTS REQUIRING REDESIGN TO THE OWNER.
- DIMENSIONS TO PROPOSED UTILITIES ARE FROM THE CENTER OF STRUCTURE OR PIPE TO OUTSIDE FACE OF THE EXISTING BUILDING.
- REFER TO MECHANICAL PLANS FOR CONTINUATION OF UTILITIES INTO THE BUILDING.
- THE CONTRACTOR SHALL ADJUST TO FINISH GRADE ALL WATER AND GAS VALVE BOXES, MANHOLES, AND OTHER APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID WATER, GAS AND EXISTING SEWERS AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- 5-FOOT HORIZONTAL SEPARATION REQUIRED BETWEEN SANITARY SEWER AND POTABLE WATER LINES.

STORM SEWER

- THE CONTRACTOR SHALL VERIFY THE STRUCTURAL INTEGRITY OF EXISTING STORM STRUCTURES AT THE NEW PIPE TIE-INS FOLLOWING THE REMOVAL OF EXISTING PIPE AND CREATION OF NEW PIPE OPENINGS. CONTACT THE ENGINEER IF THE EXISTING STRUCTURES ARE STRUCTURALLY UNSTABLE.
- STORM PIPE BEDDING PER 1/C502.
- INSTALL PERFORATED PVC RODENT GUARD END CAP AT ALL DRAIN TILE DAYLIGHT LOCATIONS.

WATER

- ALL WATER LINES TO BE INSTALLED AT A MINIMUM OF 7' COVER DEPTH.
- UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP FOR THE WATER SYSTEM SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) AND THE NATIONAL FIRE PREVENTION ASSOCIATION (NFPA).
- IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM DRAIN PIPING, ADJUST THE WATER LINE DOWNWARDS IN SUCH A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATION ON PIPE DEFLECTION AND JOINT STRESS ARE NOT EXCEEDED.
- MAINTAIN A MINIMUM 6" VERTICAL SEPARATION AT ALL UTILITY CROSSINGS. POTABLE WATER LINES CROSSING BENEATH SANITARY SEWER SHALL HAVE A MINIMUM OF 18" SEPARATION.
- CONDUCT A PRESSURE TEST ON ALL WATER MAIN AND FIRE PROTECTION LINES TO THE SATISFACTION OF THE LOCAL APPROVAL AUTHORITY AND THE OWNER'S INSURANCE CARRIER.
- WATER LINE BEDDING PER 1/C502.

SANITARY SEWER

- SANITARY SEWER PIPE BEDDING PER 1/C502.
- PLUG ALL SANITARY SEWER STUB-OUTS.

GAS

- UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP FOR THE GAS SYSTEM SHALL BE IN ACCORDANCE WITH THE WATERTOWN CONSTRUCTION SPECIFICATIONS.
- GAS PIPING SHALL BE LOCATED 4.33' MINIMUM BEHIND CURBING AND 5' MINIMUM FROM ALL OTHER UTILITIES.
- CONNECTION TO EXISTING MAIN AND THE VALVE SETTING WILL BE DONE BY UTILITY PROVIDER. CONTRACTOR SHALL CONNECT TO THE VALVE. PROVIDE ADAPTERS AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF WATERTOWN 48 HOURS, MINIMUM, PRIOR TO GAS LINE INSTALLATION.

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN, EXCEPT AS MODIFIED BY THE PROJECT SPECIFICATIONS. (AVAILABLE AT :HTTP://WWW.DOT.STATE.MN.US/PRE-LETTING/SPEC/)

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE MN MUTCD, INCLUDING THE MOST CURRENT FIELD MANUAL. (AVAILABLE AT: HTTP://WWW.DOT.STATE.MN.US/TRAFFICENG)

LEGEND

- CONSTRUCTION LIMITS
- ROCK CONSTRUCTION ENTRANCE
- SILT FENCE
- TREE PROTECTION, SEE L500
- SALVAGE GRAVEL
- REMOVE WALK
- SWALE
- WATER SERVICE
- SANITARY SERVICE
- STORM SEWER
- 4" CONCRETE WALK
- 6" AGGREGATE DRIVE
- BITUMINOUS PAVEMENT



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CARVER COUNTY CDA

CLIENT ADDRESS

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS

10/22/2024	CONSTRUCTION DOCUMENTS
NO	DATE
ISSUED FOR	

NO	DATE	REVISION
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I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: *Jordan Cabak*

TYPED OR PRINTED NAME: JORDAN CABAK

DATE: 10/22/2024 REG. NO.: 52249

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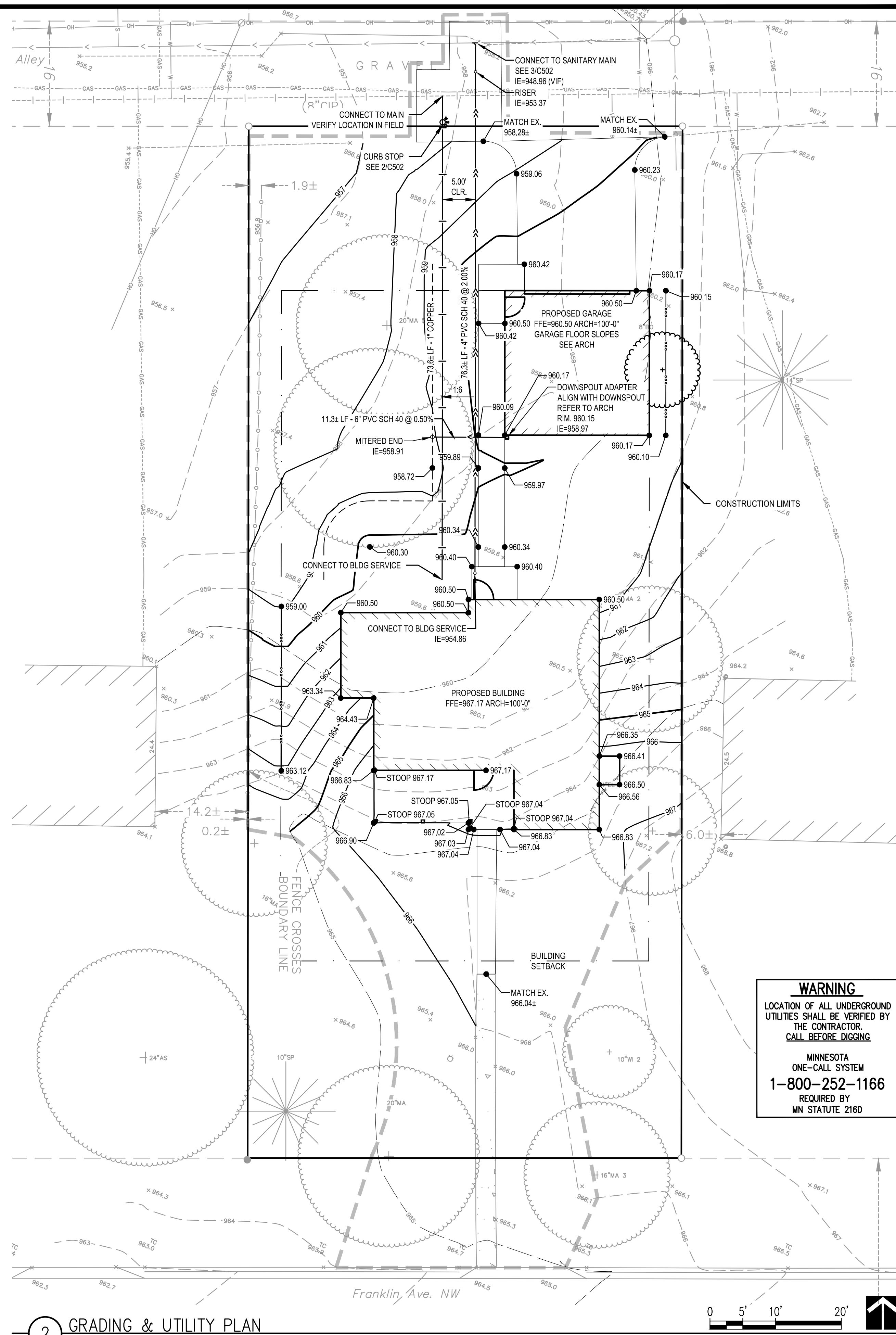
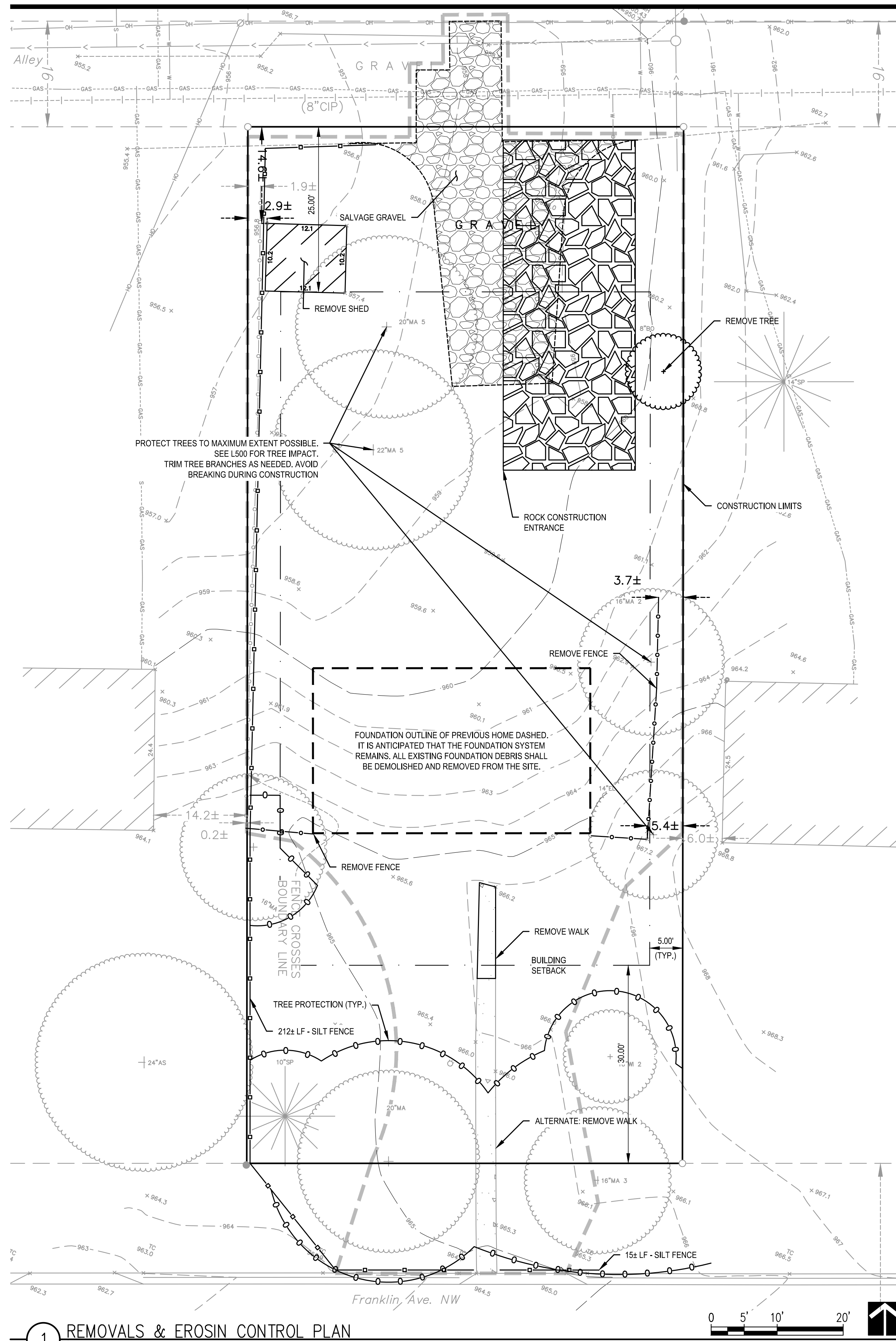
PROJECT NAME:
FRANKLIN HOUSE

413 FRANKLIN AVE NW
WATERTOWN, MN 55388

DRAWING TITLE:
CIVIL NOTES & LEGEND

DRAWN BY: DPG
CHECKED BY: JTC
PROJ. NO.: 240559
DRAWING NO.:

C001



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

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CARVER COUNTY CDA

CLIENT ADDRESS

THIS SQUARE APPEARS 1/2" x 1/2"
ON FULL SIZE SHEETS

NO	DATE	ISSUED FOR
	10/22/2024	CONSTRUCTION DOCUMENTS

NO	DATE	REVISION
----	------	----------

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: Jordan Calak

TYPED OR PRINTED NAME: JORDAN CABAK

DATE: 10/22/2024 REG. NO.: 52249

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PROJECT NAME: _____

PROJECT NAME:
FRANKLIN HOUSE

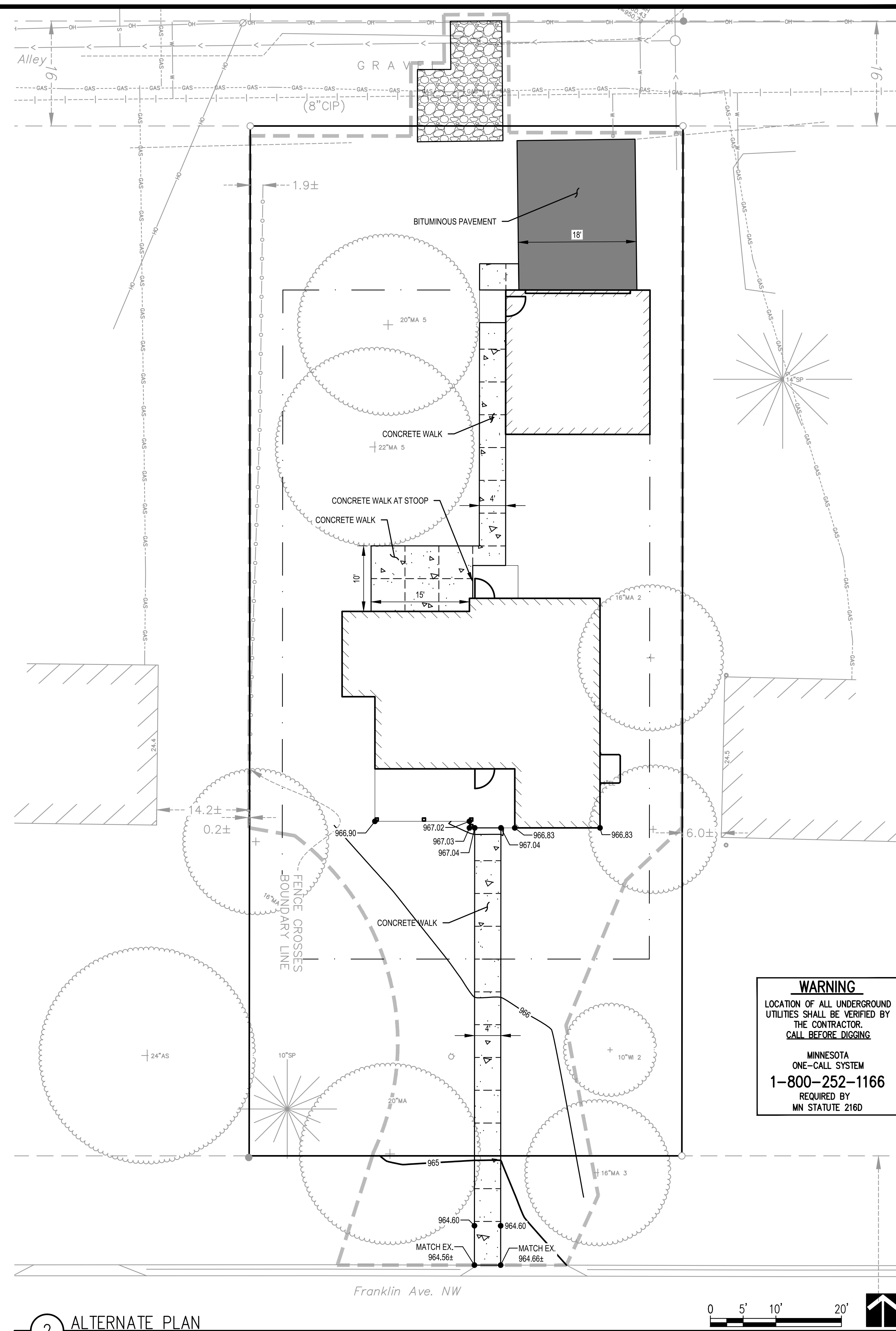
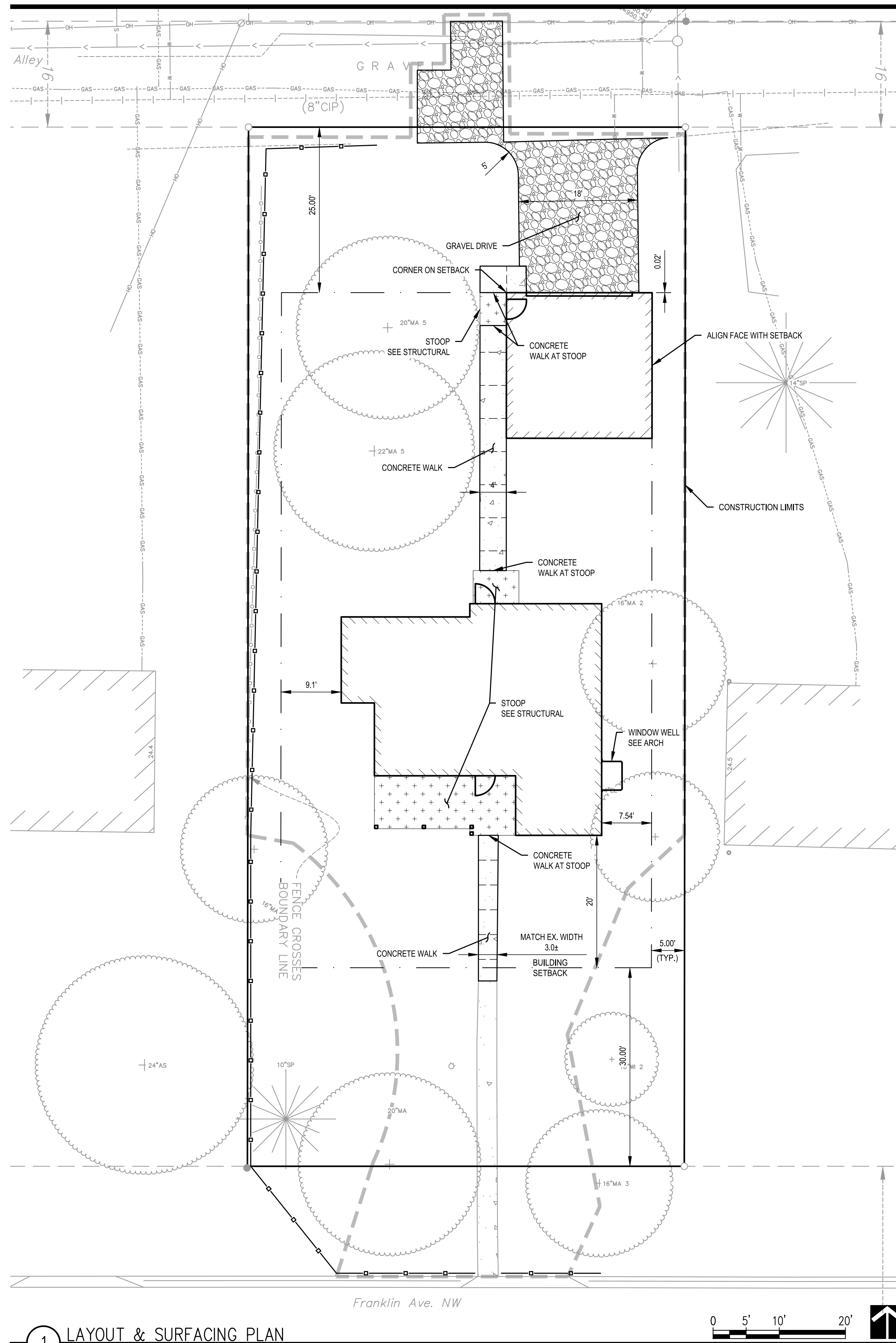
413 FRANKLIN AVE NW
WATERTOWN, MN 55388

DRAWING TITLE:

SITE PLAN

DRAWN BY: DPG
CHECKED BY: JTC
PROJ. NO: 240559
DRAWING NO:

C101



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT: CARVER COUNTY CDA

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TYPED OR PRINTED NAME: JORDAN CABAK

DATE: 10/22/2024 REG. NO.: 52249

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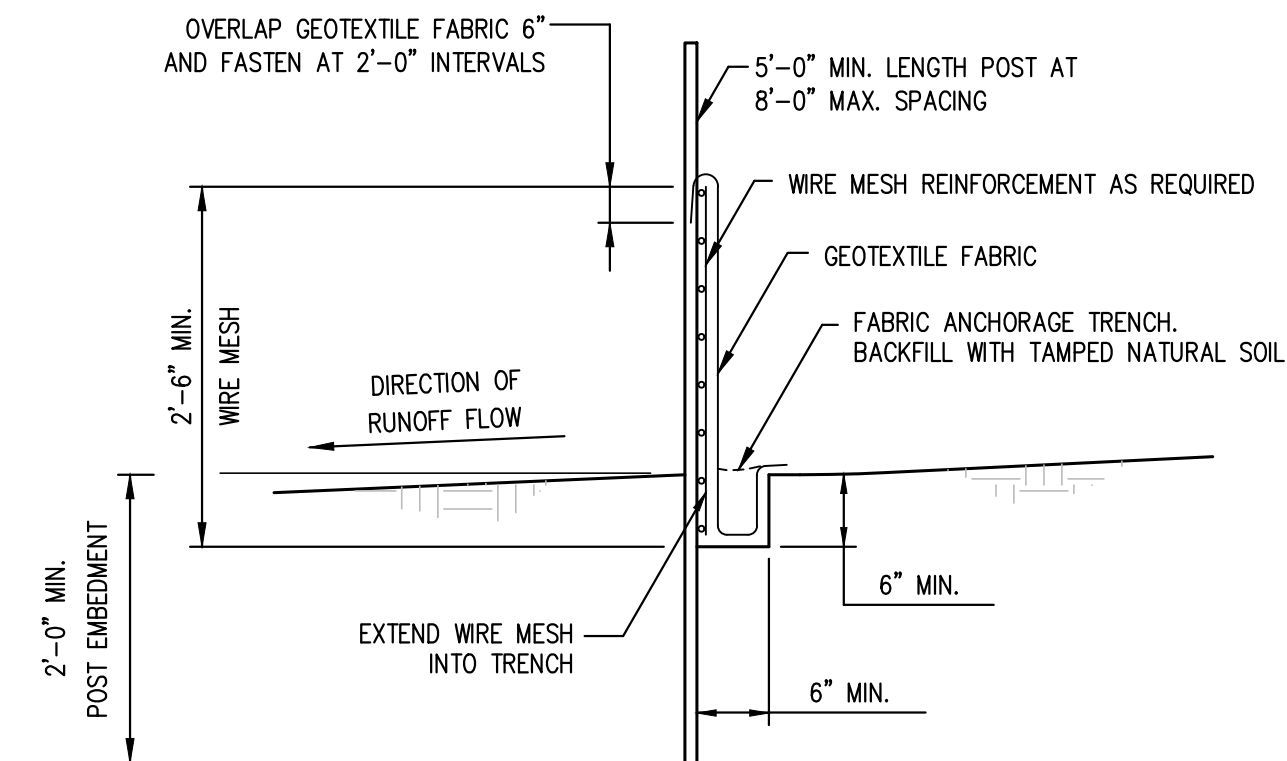
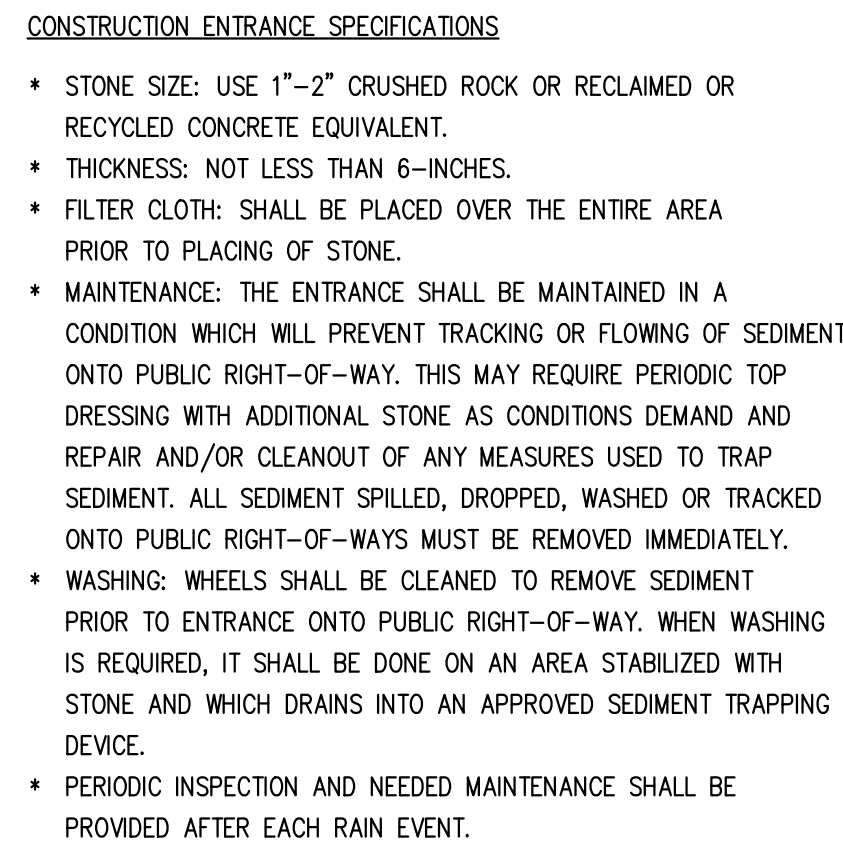
PROJECT NAME:
FRANKLIN HOUSE

413 FRANKLIN AVE NW
WATERTOWN, MN 55388

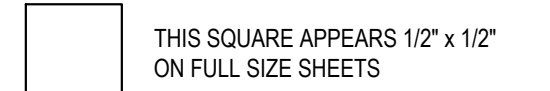
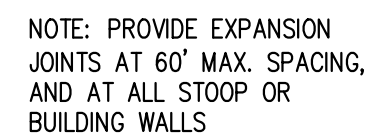
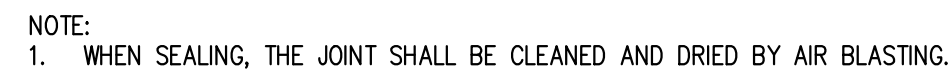
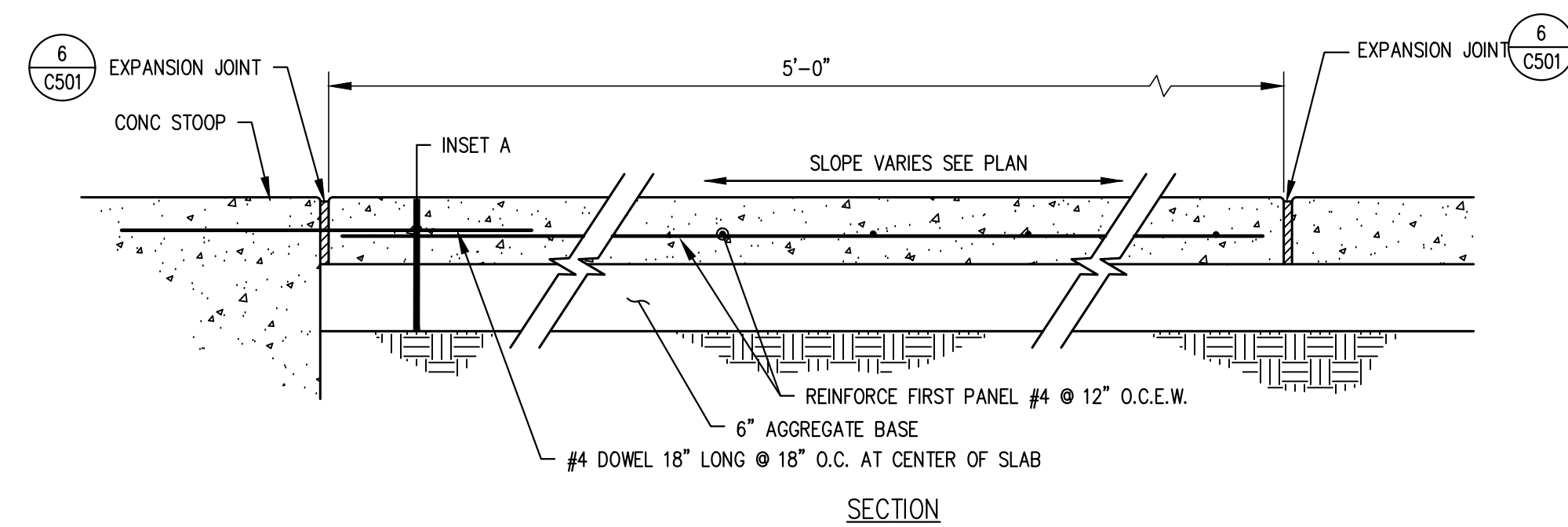
DRAWING TITLE:
SITE PLAN

DRAWN BY: DPG
CHECKED BY: JTC
PROJ. NO: 240559
DRAWING NO:

C102



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SIGNATURE: Jordan Cole

TYPED OR PRINTED NAME: JORDAN CABAK

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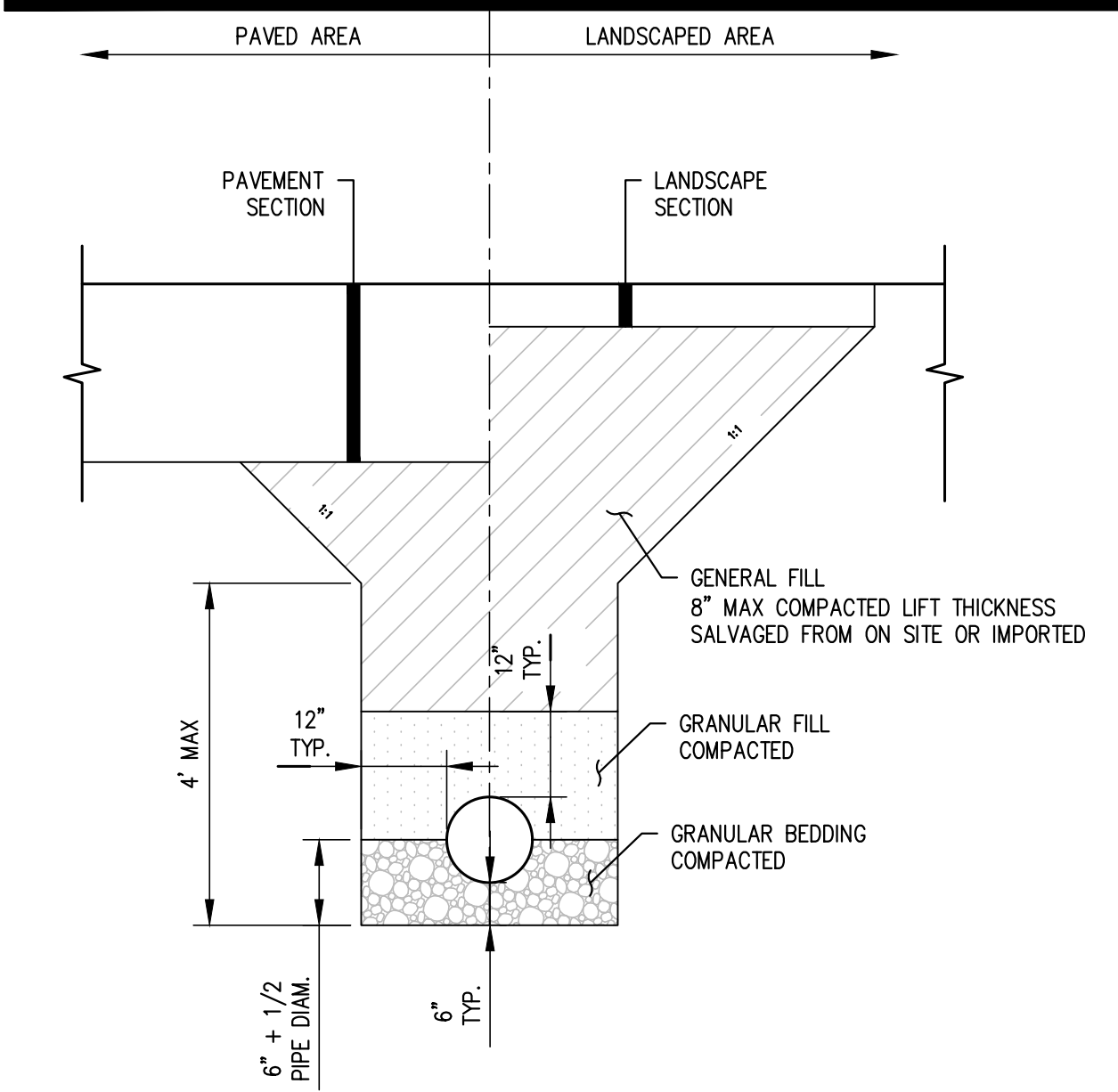
413 FRANKLIN AVE NW
WATERTOWN, MN 55388

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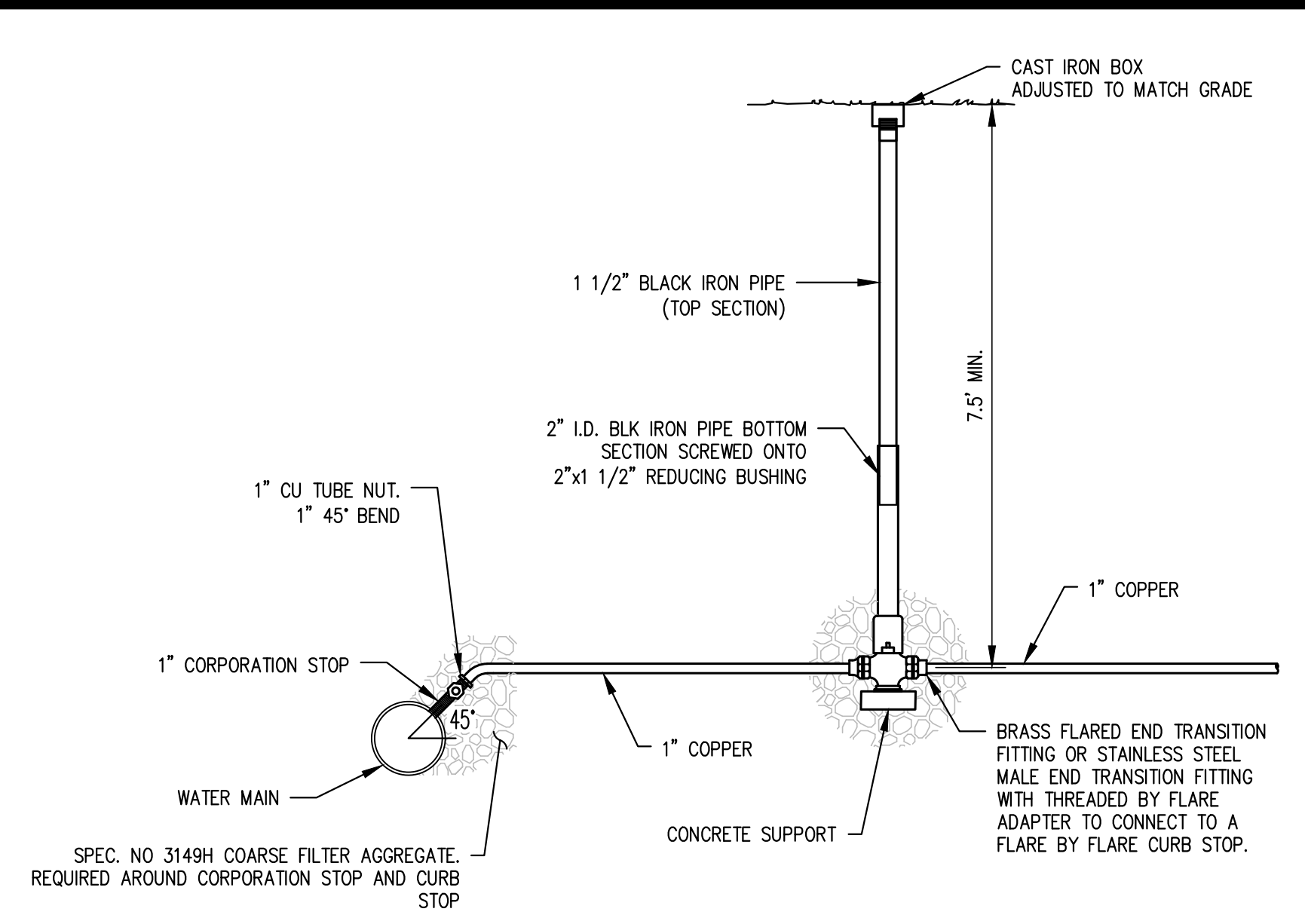
CIVIL DETAILS

DRAWN BY: DPG
CHECKED BY: JTC
PROJ. NO: 240559
DRAWING NO:

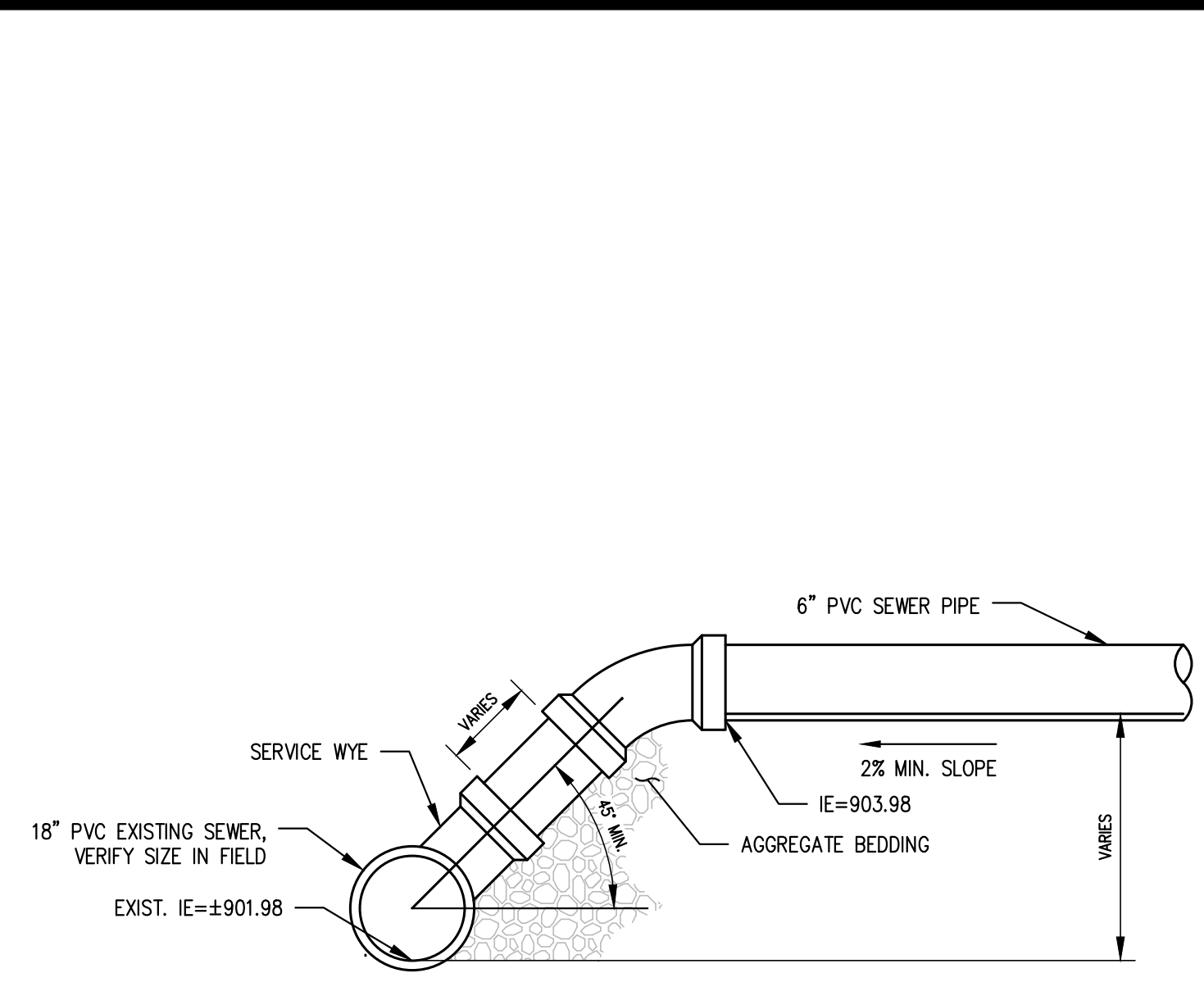
C501



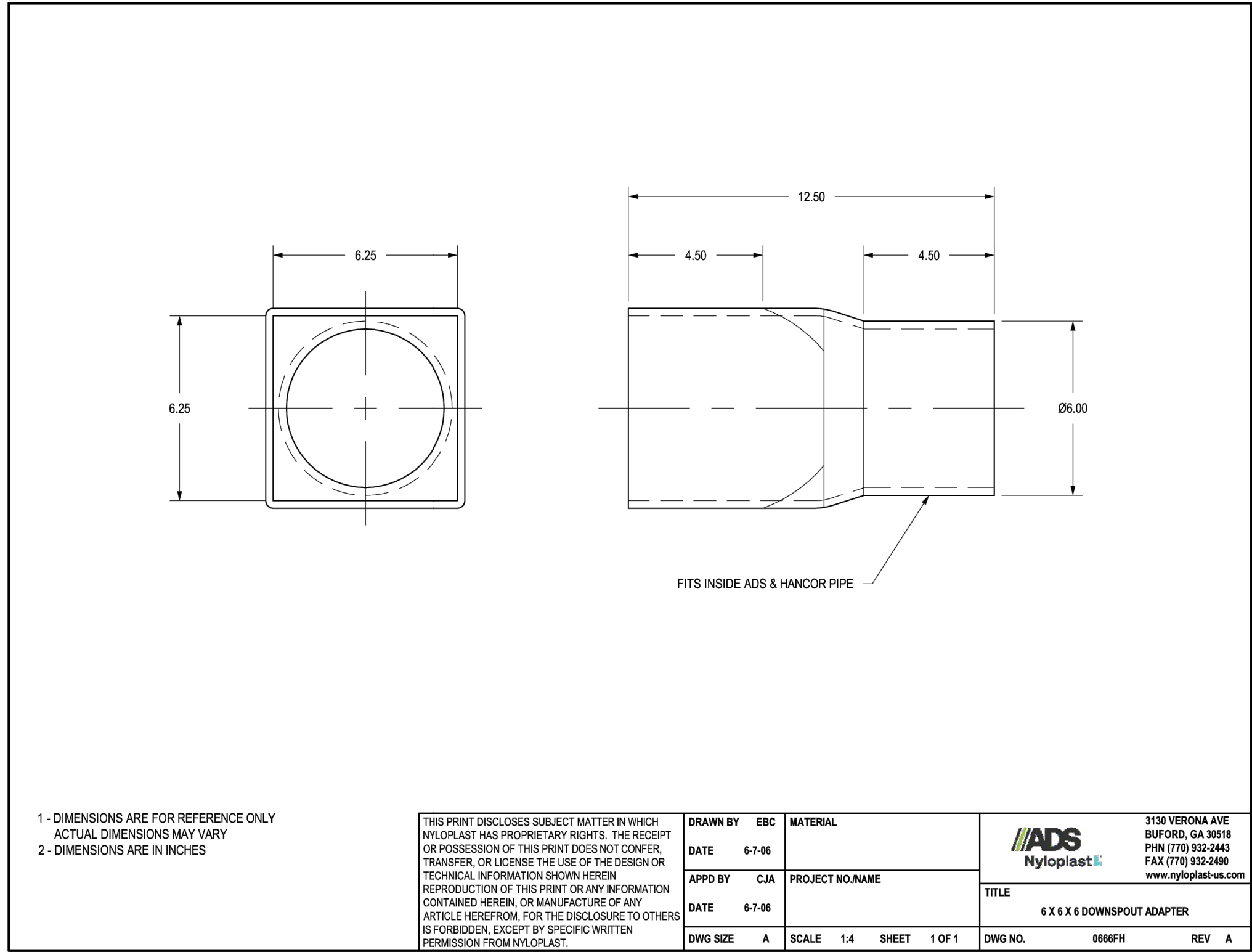
1 TYPICAL UTILITY TRENCH SECTION
NOT TO SCALE



2 WATER MAIN CONNECTION
NOT TO SCALE



3 SANITARY SEWER WYE CONNECTION
NOT TO SCALE



4 DOWNSPOUT ADAPTER
NOT TO SCALE



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NO	DATE	REVISION
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SIGNATURE: *Jordan Cabak*

TYPED OR PRINTED NAME: JORDAN CABAK

DATE: 10/22/2024 REG. NO.: 52249

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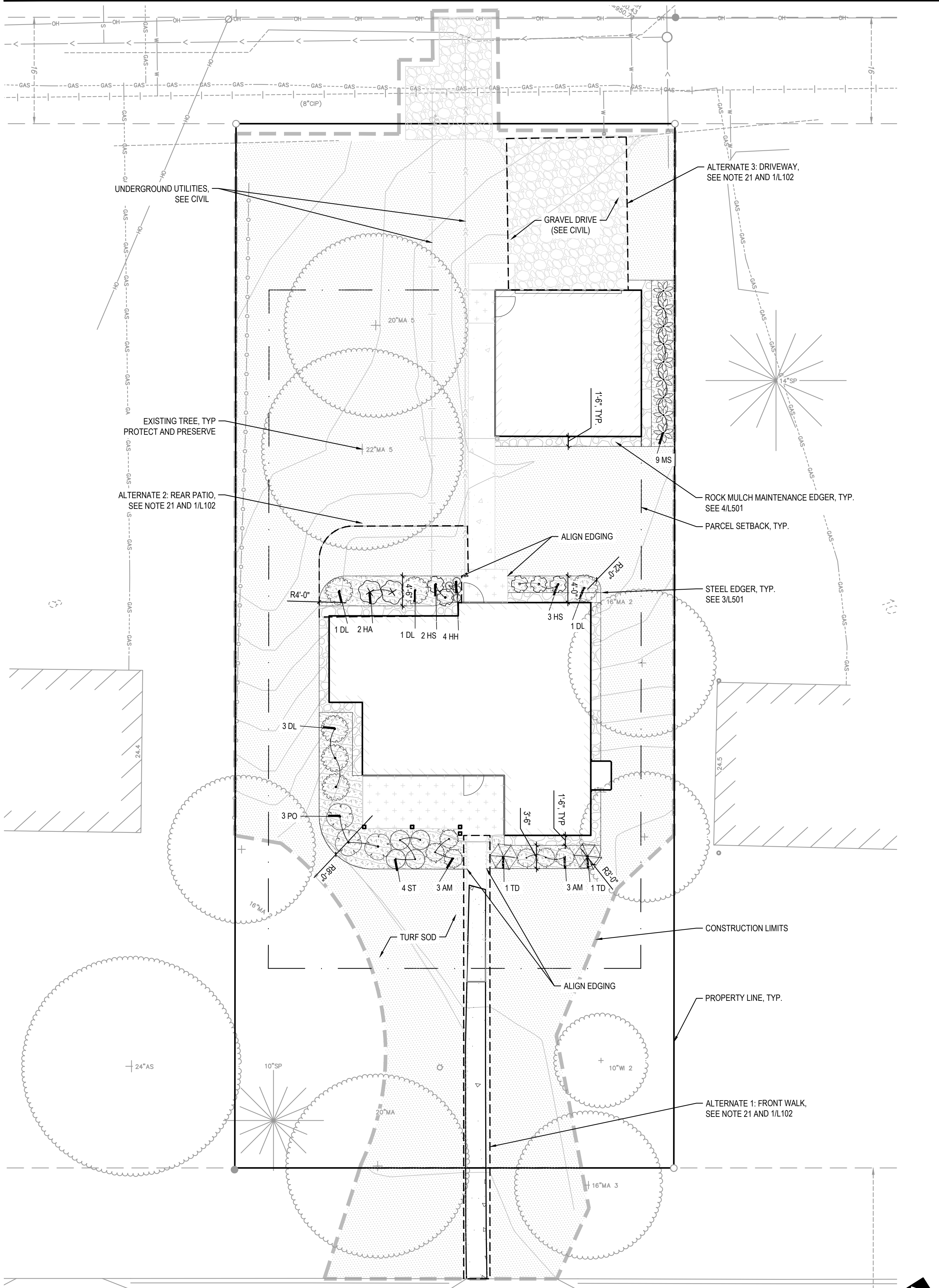
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CIVIL DETAILS

DRAWN BY:
CHECKED BY:
PROJ. NO: 240559
DRAWING NO:

C502

File Path: \\0659500 Drawings\\L24059 Landscape Planting
Plot Date: 2024/10/22 8:36:24 AM

1 LANDSCAPE PLAN
Scale: 1"=10'



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
SHRUBS					
	AM	6	Aronia melanocarpa 'UCONNAM012' TM / Ground Hug Black Chokeberry	#2 CONT.	36" o.c.
	DL	6	Diervilla lonicera / Dwarf Bush Honeysuckle	#2 CONT.	48" o.c.
	PO	3	Physocarpus opulifolius 'SMPOTW' TM / Tiny Wine Ninebark	#2 CONT.	48" o.c.
	ST	4	Spiraea betulifolia 'Tor Gold' TM / Glow Girl Birchleaf Spiraea	#2 CONT.	36" o.c.
	TD	2	Taxus x media 'Dark Green Spreader' / Yew	#5 CONT.	48" o.c.
PERENNIALS					
	HS	5	Hosta 'Stained Glass' / Stained Glass Hosta	#1 CONT	30" o.c.
	HA	2	Hosta x 'Blue Angel' / Blue Angel Hosta	#1 CONT	42" o.c.
	HH	10	Hosta x 'High Society' / High Society Hosta	#1 CONT	15" o.c.
	MS	9	Matteuccia struthiopteris / Ostrich Fern	#1 CONT	36" o.c.
GROUND COVERS					
		594 sf	Hardwood Mulch / See 1/L501	None	
		238 sf	Rock Mulch / See 4/L501	None	
		5,922 sf	Turf Sod / See Spec 32 9223	with 4" Topsoil	

LANDSCAPE NOTES

- GENERAL LANDSCAPE NOTES:
- THIS DRAWING DOES NOT CONSTITUTE AN OFFICIAL SURVEY OF THE SITE. CONFIRM ALL LOCATIONS OF SURFACE AND SUB-SURFACE FEATURES BEFORE BEGINNING INSTALLATION. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 - CONFIRM ALL QUANTITIES, SHAPES, AND LOCATIONS OF LANDSCAPE AREAS, AND ADJUST TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
 - VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH PLANT INSTALLATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL MULCHES AND SOIL QUANTITIES TO COMPLETE THE WORK SHOWN IN THE DRAWINGS. VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
 - REFER TO SECTION 31 2323 FILL FOR SOIL REQUIREMENTS. DO NOT BEGIN PLANTING OPERATIONS IF SOIL CONDITIONS ARE NOT AS SPECIFIED.
 - REMOVE FROM THE SITE ALL TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE IS NOT ALLOWED. THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 - STAKE TREE AND PLANTING BED LAYOUT IN-FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING OPERATIONS.
- PROTECTIONS
- AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES. SEE SHEET L500.
 - KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. KEEP THE PROJECT SITE CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
 - PROVIDE AND MAINTAIN INLET AND PERIMETER EROSION CONTROL BMPs AS SPECIFIED ON CIVIL SHEETS.
 - ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION WILL BE RESTORED WITH SOD UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR TURF RESTORATION REQUIREMENTS.

- PLANT MATERIAL
- PLANT TREE ROOT BALLS FLUSH WITH FINAL GRADE AND THE TOP OF ROOT FLARE EXPOSED, PER PLANTING DETAILS.
 - NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
 - THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
 - ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI-Z60. LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - HEEL IN AND WATER ANY PLANT STOCK NOT PLANTED WITHIN 24 HOURS OF DELIVERY UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
 - REFER TO SPECIFICATIONS FOR WARRANTY REQUIREMENTS AND OTHER PLANTING ACCESSORIES.
- MAINTENANCE AND CARE
- BEGIN PLANT MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE.
 - MAINTENANCE INCLUDES WATERING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION.
 - REFER TO SPECIFICATIONS FOR FULL INSPECTION, MAINTENANCE, AND WARRANTY REQUIREMENTS.

- BID ALTERNATES
- SEE SPECIFICATION SECTION 01 2300. PROVIDE SEPARATE, PER UNIT COSTS FOR THE FOLLOWING BID ALTERNATES.
- ALT. 1 - FRONT WALK
ALT. 2 - REAR PATIO
ALT. 3 - DRIVEWAY

WARNING
LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.
CALL BEFORE DIGGING

MINNESOTA
ONE-CALL SYSTEM
1-800-252-1166
REQUIRED BY
MN STATUTE 216D



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CLIENT:
CARVER COUNTY CDA

CLIENT ADDRESS

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NO	DATE	ISSUED FOR

NO	DATE	REVISION
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I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

SIGNATURE:

TYPED OR PRINTED NAME: LYDIA MAJOR

DATE: 10/22/2024 REG. NO.: 46911

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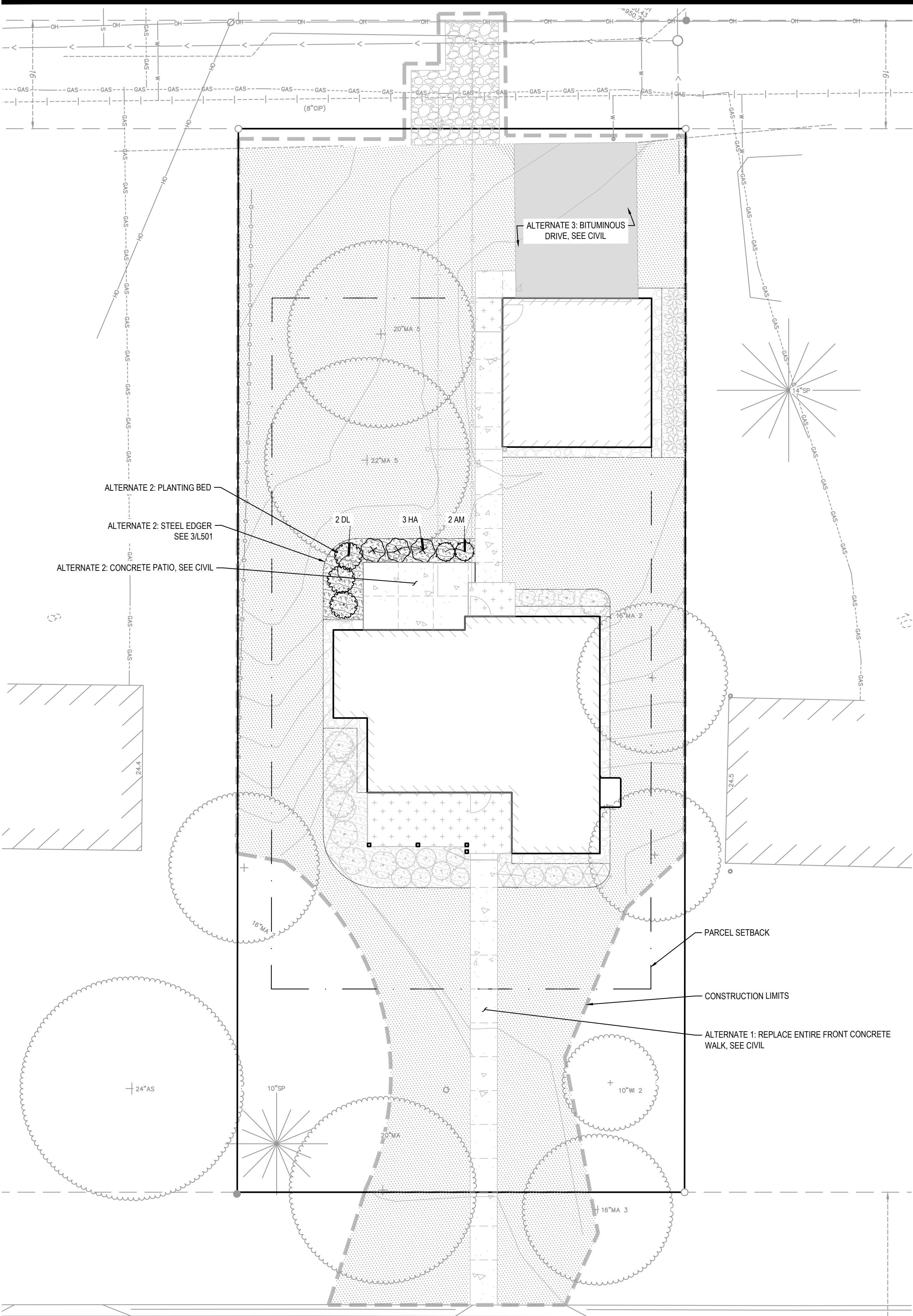
PROJECT NAME:
FRANKLIN HOUSE

**413 FRANKLIN AVE NW
WATERTOWN, MN 55388**

DRAWING TITLE:
LANDSCAPE PLAN

DRAWN BY: KAT
CHECKED BY: LAM
PROJ. NO: 240559
DRAWING NO:

L101



PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>SPACING</u>
SHRUBS					
	AM	2	Aronia melanocarpa 'UCONNAM012' TM / Ground Hug Black Chokeberry	#2 CONT.	36" o.c.
	DL	2	Diervilla lonicera / Dwarf Bush Honeysuckle	#2 CONT.	48" o.c.
PERENNIALS					
	HA	3	Hosta x 'Blue Angel' / Blue Angel Hosta	#1 CONT	42" o.c.
<u>SYMBOL</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>		<u>CONT</u>	
GROUND COVERS					
	496 sf	Hardwood Mulch / See 1/L501		None	
	5,696 sf	Turf Sod / See Spec 32 9223		with 4" Topsoil	

SHEET NOTES

1. REFER TO NOTE 21 ON L101 FOR ALTERNATE INFORMATION.



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10/22/2024 CONSTRUCTION DOCUMENTS
NO DATE ISSUED FOR

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PROJECT NAME:
FRANKLIN HOUSE

413 FRANKLIN AVE NW
WATERTOWN, MN 55388

DRAWING TITLE:
LANDSCAPE
ALTERNATES

DRAWN BY: KAT
CHECKED BY: LAM
PROJ. NO: 240559
DRAWING NO:

L102

File Path: \\0659500 Drawings\\L240559 Landscape Planting
Plot Date: 2024/10/22 8:36:48 AM

1 ALTERNATE 1
Scale: 1"=10'

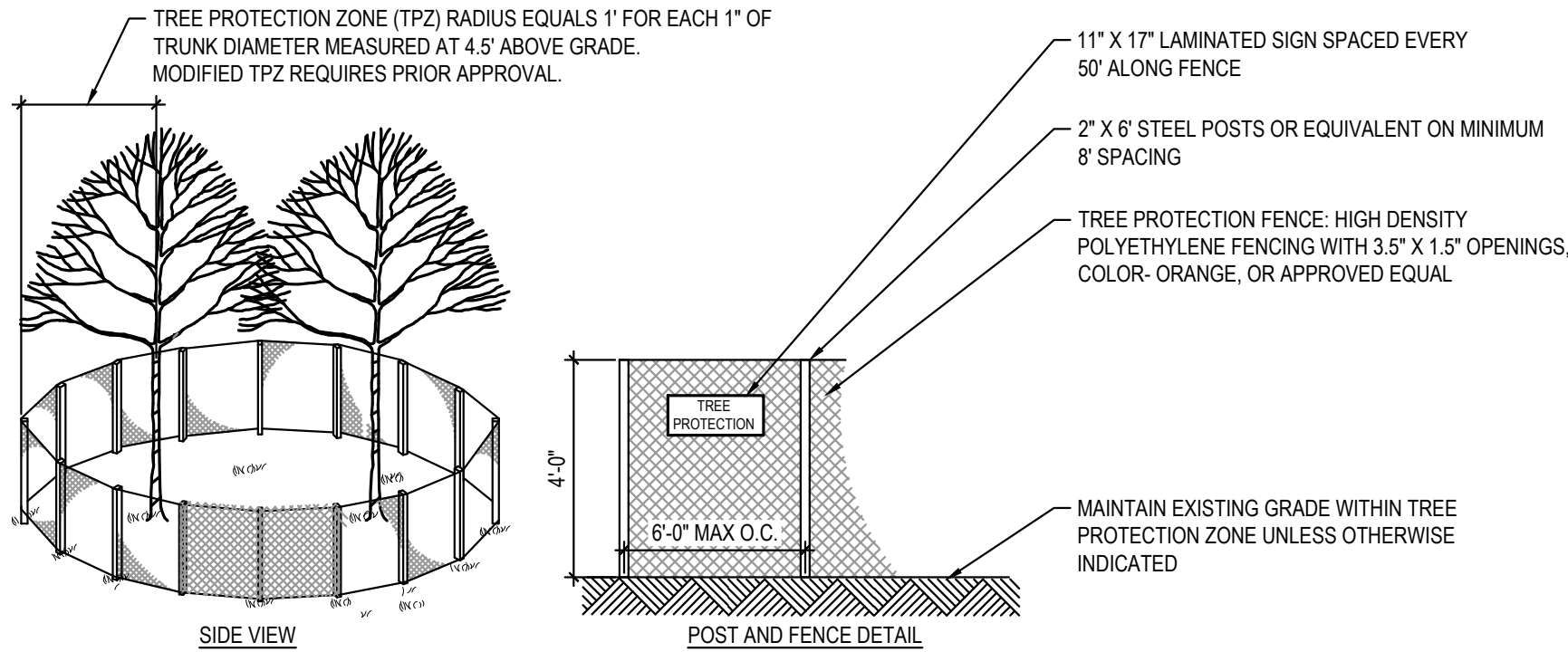
0 5' 10' 20'



WARNING
LOCATION OF ALL UNDERGROUND
UTILITIES SHALL BE VERIFIED BY
THE CONTRACTOR.
CALL BEFORE DIGGING
MINNESOTA
ONE-CALL SYSTEM
1-800-252-1166
REQUIRED BY
MN STATUTE 216D

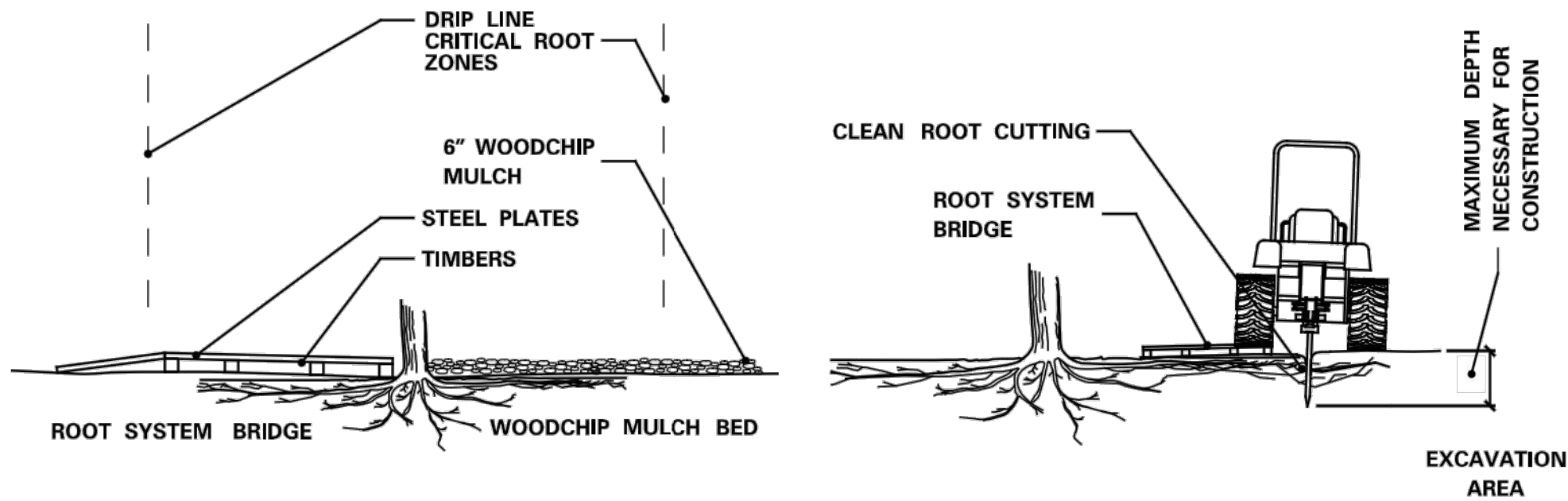
NOTES:

1. TREE PROTECTION FENCE MUST BE MAINTAINED UNTIL COMPLETION OF WORK.
2. THE FENCE SHALL BE LOCATED NO CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE. MODIFIED TREE PROTECTION ZONE (TPZ) REQUIRES PRIOR APPROVAL.
3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT CONSTRUCTION, A PROTECTIVE LAYER OF MULCH AT A MINIMUM DEPTH OF 12 INCHES FOR VEHICLE ACCESS.
4. NO TREE PRUNING SHALL BE DONE EXCEPT BY MPRB PRUNING PERMIT.
5. NO STORAGE OF MATERIALS OR OPERATION OF EQUIPMENT MAY TAKE PLACE INSIDE OF THE TREE PROTECTION ZONE.



1 TEMPORARY FENCE

NOT TO SCALE



IF CONSTRUCTION VEHICLES MUST PASS OVER ROOT ZONES, THE CONTRACTOR MUST EITHER:

1. CONSTRUCT ROOT SYSTEM BRIDGES WITH STEEL PLATE SUPPORTED ON WOOD TIMBERS PLACED RADIALLY TO THE TREE TRUNK.
- OR
2. PLACE A 6 INCH LAYER OF WOODCHIP MULCH OVER A TYPE III GEOTEXTILE (MnDOT 3733).

OTHER VEGETATION PROTECTION MEASURES

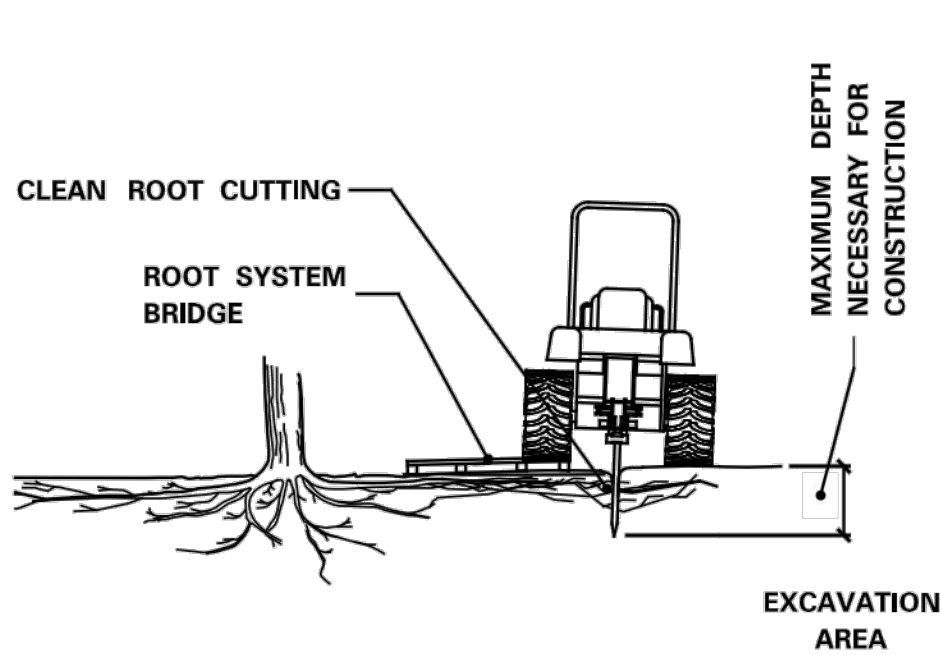
(MnDOT 2572.3A12)

2 TREE ROOT PROTECTION

NOT TO SCALE

CLEAN ROOT CUTTING

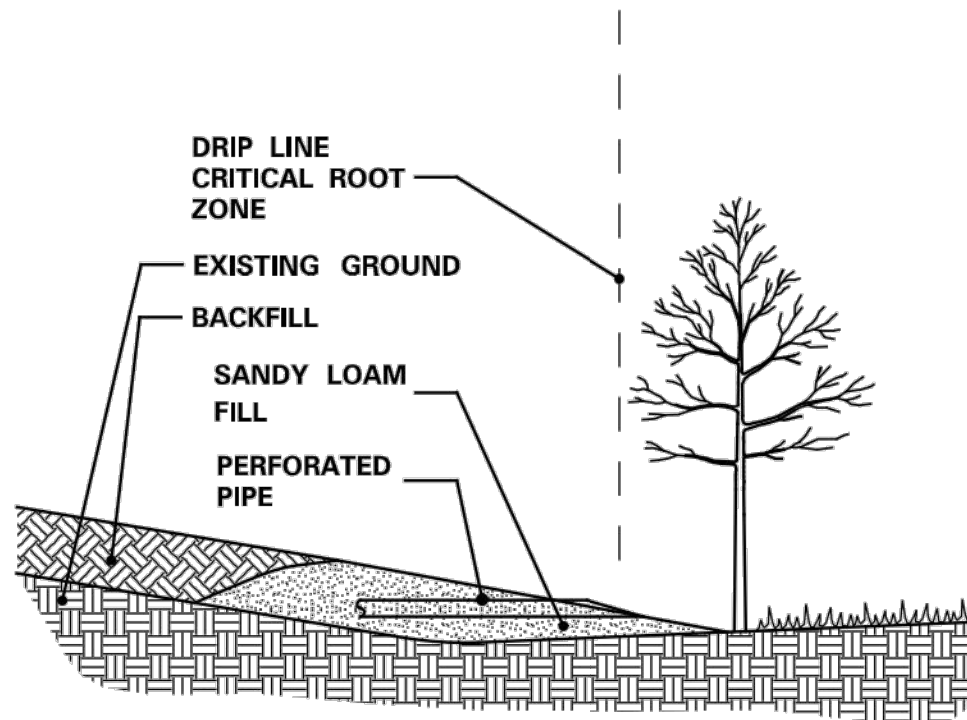
(MnDOT 2572.3A2)



1. WHEN DESIGNATED IN THE PLAN OR DIRECTED BY THE ENGINEER, PRIOR TO EXCAVATION, ALL TREE ROOTS WILL BE CLEANLY CUT BY A VIBRATORY PLOW OR OTHER APPROVED ROOT CUTTER.
2. THE TREE ROOTS WILL BE CUT CLEANLY TO THE MAXIMUM DEPTH NECESSARY FOR CONSTRUCTION.
3. IMMEDIATELY, AND CLEANLY CUT DAMAGED AND EXPOSED ROOTS.
4. ROOT ENDS EXPOSED BY EXCAVATION ACTIVITIES SHALL BE IMMEDIATELY COVERED WITH A 6\"/>

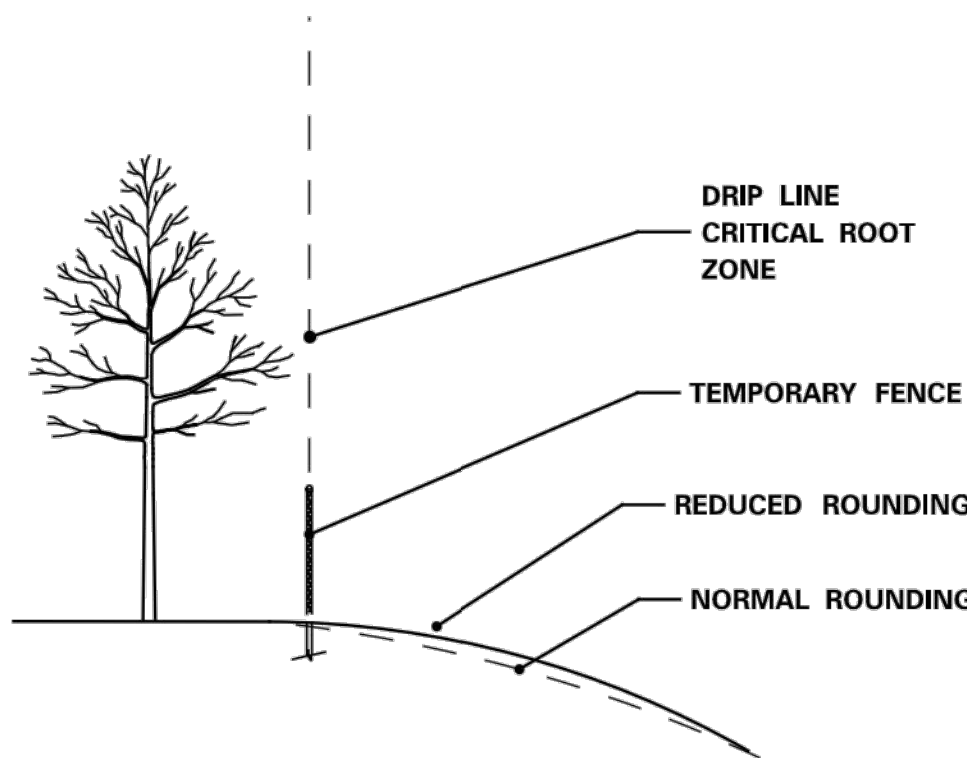
SANDY LOAM TOPSOIL

(MnDOT 2572.3A4)



1. ANY FILL REQUIRED WITHIN THE DRIP LINE OF TREES, IS UNCOMPACTED SANDY LOAM TOPSOIL (WITH A COARSE SAND COMPONENT).
2. EXCESSIVE FILL MAY REQUIRE INSTALLING PERFORATED PIPE WITH AT LEAST ONE DAYLIGHTED END OPENING AS AN AERATION SYSTEM.

SLOPE ROUNDING

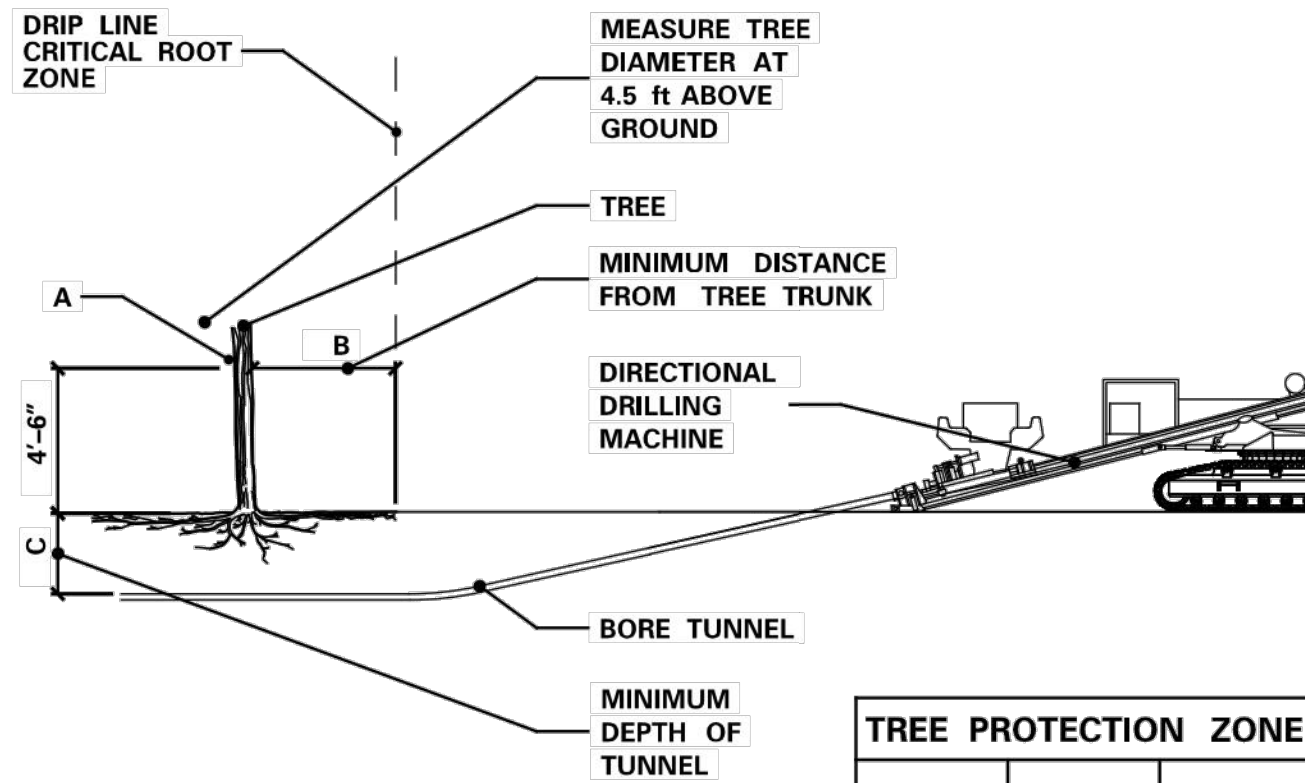


SIGNIFICANT TREES NEAR THE PROPOSED CONSTRUCTION LIMITS WILL BE IDENTIFIED IN THE PLAN OR BY THE ENGINEER AND WILL BE PRESERVED BY THE CONTRACTOR.

1. PLACE THE TEMPORARY FENCE.
2. REDUCE SLOPE ROUNDING WHERE ROOT ZONES ARE DISTURBED BY NORMAL SLOPE ROUNDING.
3. VARY BACKSLOPE STEEPNESS TO AVOID TREE LOSS OR UNNECESSARY ROOT DAMAGE.

NOTES:

1. REFER TO TREE PROTECTION SPECIFICATIONS SECTION 02 4101 FOR ALLOWABLE DISTURBANCE DISTANCES AND MINIMUM BORE DEPTHS FOR UTILITY CONSTRUCTION ADJACENT TO TREES.



NOTE:

1. (A) IS THE DIAMETER OF TREES MEASURED 4-6 FEET ABOVE THE GROUND AND IS TERMED THE "DIAMETER AT BREAST HEIGHT," (DBH).
2. USING A TREE DIAMETER TAPE, WRAP THE TAPE AROUND THE GIRTH OF THE TREE, AT THE DBH, BEING CAREFUL NOT TO TWIST THE TAPE.

TREE PROTECTION ZONE		
A	B	C
< 2"	2'	2'
2-4"	4'	2.5'
> 4-9"	6'	2.5'
> 9-14"	10'	3'
> 14-19"	12'	3.25'
> 19"	15'	4'

UTILITY CONSTRUCTION

(MnDOT 2572.3A5)



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SIGNATURE: *Lydia Major*

TYPED OR PRINTED NAME: LYDIA MAJOR

DATE: 10/22/2024 REG. NO.: 46911

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PROJECT NAME:
FRANKLIN HOUSE

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WATERTOWN, MN 55388

DRAWING TITLE:

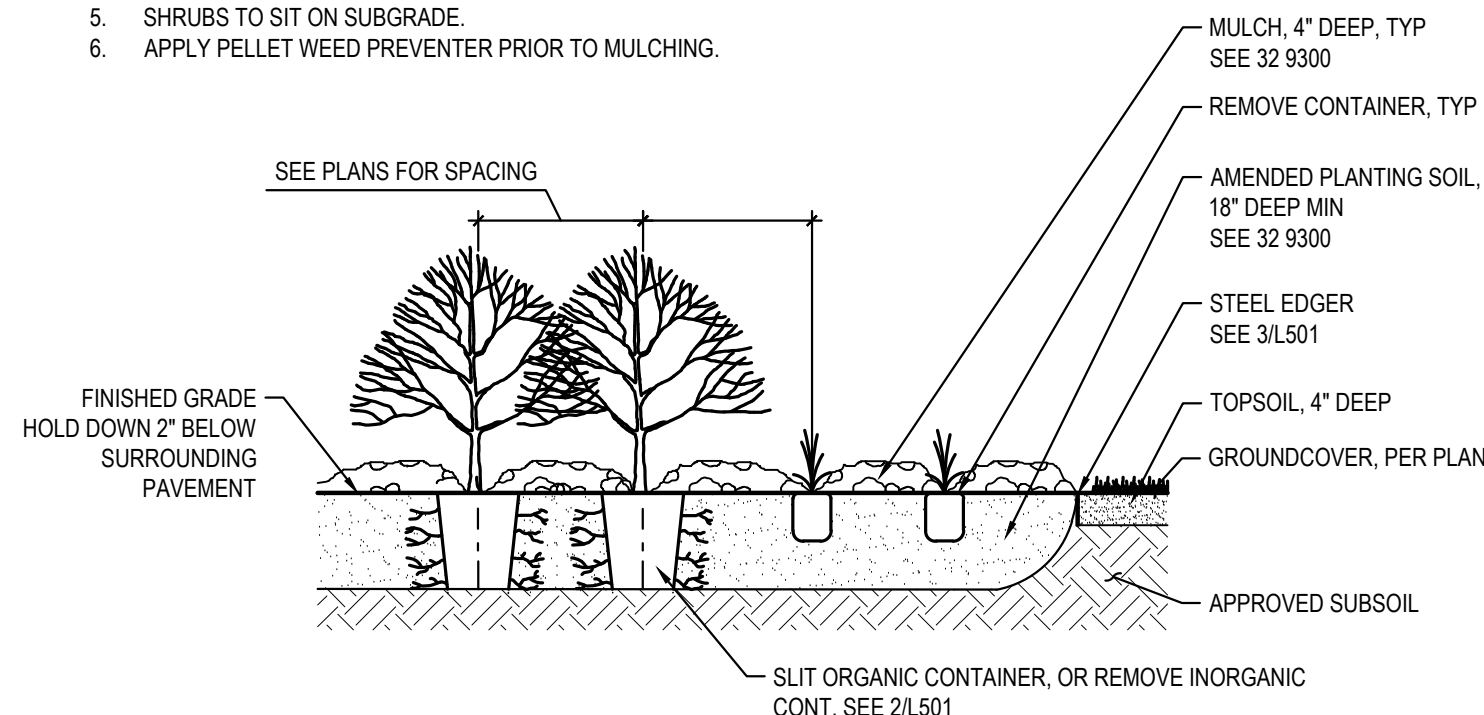
TREE PROTECTION
DETAILS

DRAWN BY: KAT
CHECKED BY: LAM
PROJ. NO: 240559
DRAWING NO:

L500



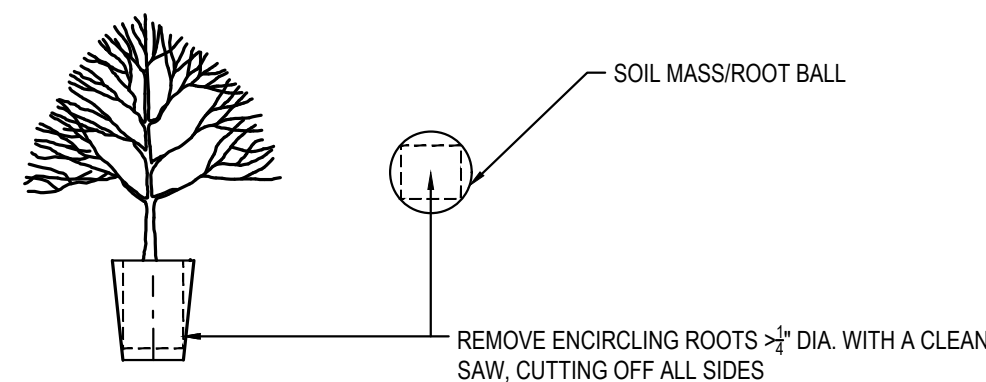
1. HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYPICAL).
2. HAND REMOVE EXCESS SOIL AT TOP OF ROOT BALL TO EXPOSE TOP OF ROOT FLARE.
TYPICALLY REQUIRES THE REMOVAL OF 1-6" OF SOIL FROM CONTAINER OR B&B.
3. ENSURE THAT FIRST MAIN LATERAL ROOT IS LESS THAN 1" BELOW THE FINAL PLANTING SURFACE.
4. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
5. SHRUBS TO SIT ON SUBGRADE.
6. APPLY PELLET WEED PREVENTER PRIOR TO MULCHING.



1 SHRUB & PERENNIAL PLANTING
NOT TO SCALE

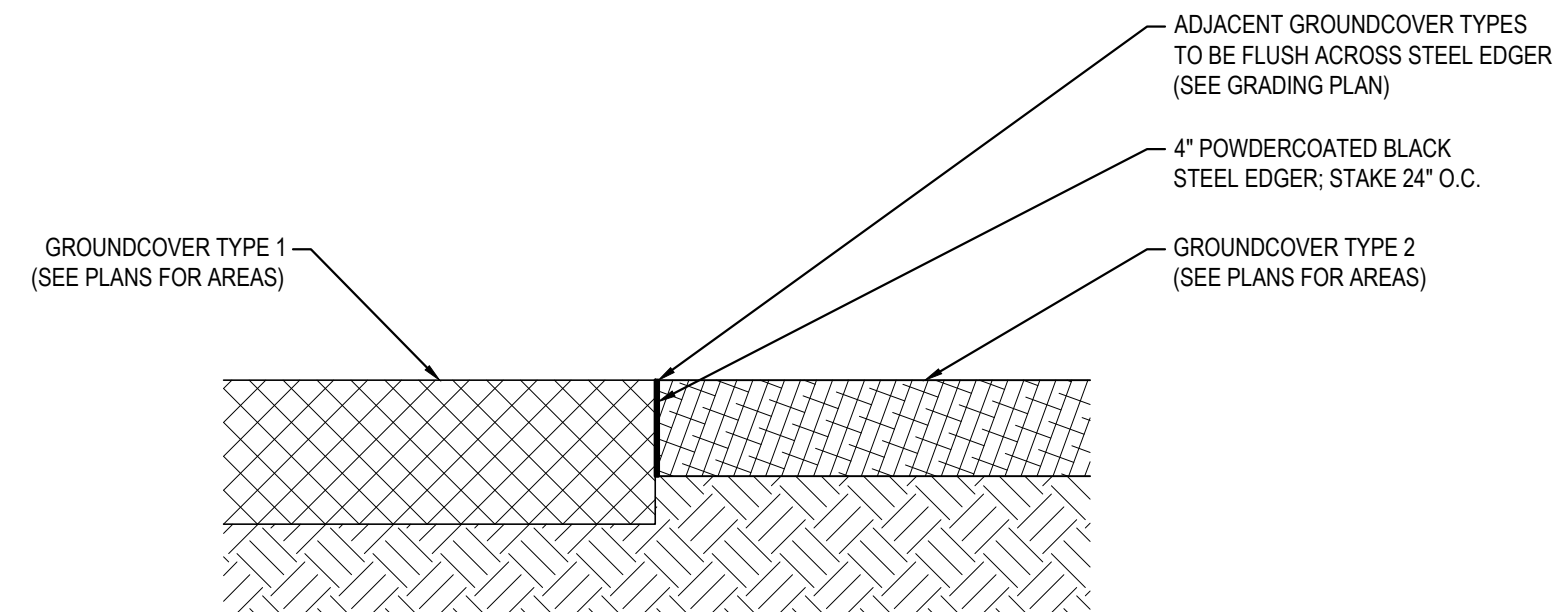
NOT TO SCALE

1. FOR TREES, SHRUBS, AND PERENNIALS WITH INORGANIC CONTAINERS, FOLLOW THE "BOXING" PROCEDURE TO REMOVE ENCIRCLING ROOTS.
2. "BOXING" IS ONLY NECESSARY ON THE PLANTS THAT HAVE ENCIRCLING ROOTS WITH DIAMETERS GREATER THAN $\frac{1}{4}$ "
3. HAND LOOSENING OF ROOTS IS STILL NECESSARY AFTER "BOXING" THE ROOT BALL (TYPICAL).



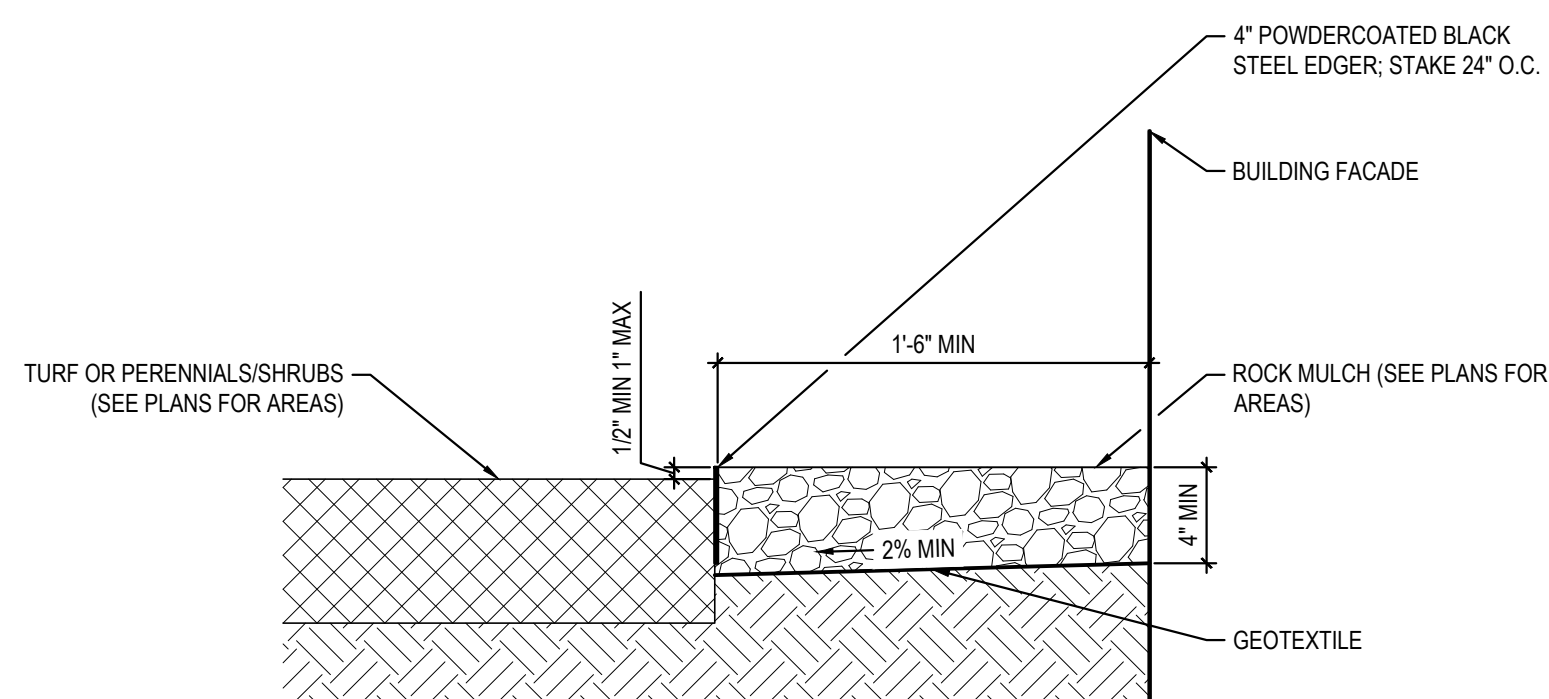
BOXING PROCEDURE FOR CONTAINERIZED PLANTS

NOT TO SCALE



STEEL EDGER

NOT TO SCALE



4 ROCK MULCH MAINTENANCE EDGER

SCALE: 1 1/2"=1'-0"

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ON FULL SIZE SHEETS

NO	10/22/2024 DATE	CONSTRUCTION DOCUMENTS ISSUED FOR
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NO	DATE	REVISION
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SIGNATURE:

TYPED OR PRINTED NAME: LYDIA MAJOR

DATE: 10/22/2024 REG. NO.: 46911

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PROJECT NAME:

PROJECT NAME:
FRANKLIN HOUSE

413 FRANKLIN AVE NW
WATERTOWN, MN 55388

DRAWING TITLE:

LANDSCAPE DETAILS

DRAWN BY: KAT
CHECKED BY: LAM
PROJ. NO: 240559
DRAWING NO:

L501

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S. SUITE 100
MINNEAPOLIS, MN 55401



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ON FULL SIZE SHEETS

1	10/22/2024	CONSTRUCTION DOCUMENTS
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

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Signature: _____

Typed or Printed Name: ISAAC E. BLIEK

Date: 10/22/2024 License Number: 61184

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PROJECT NAME:

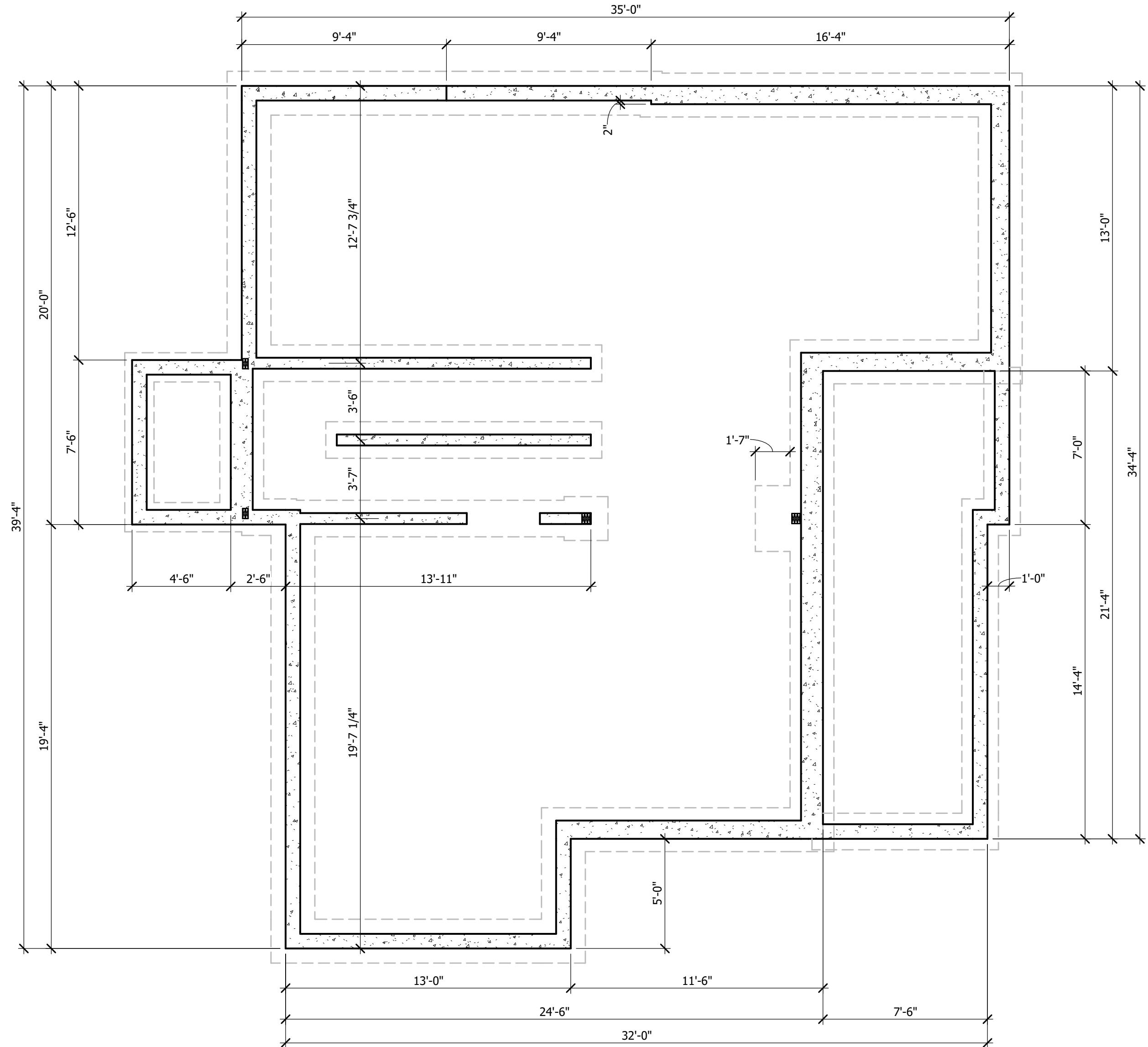
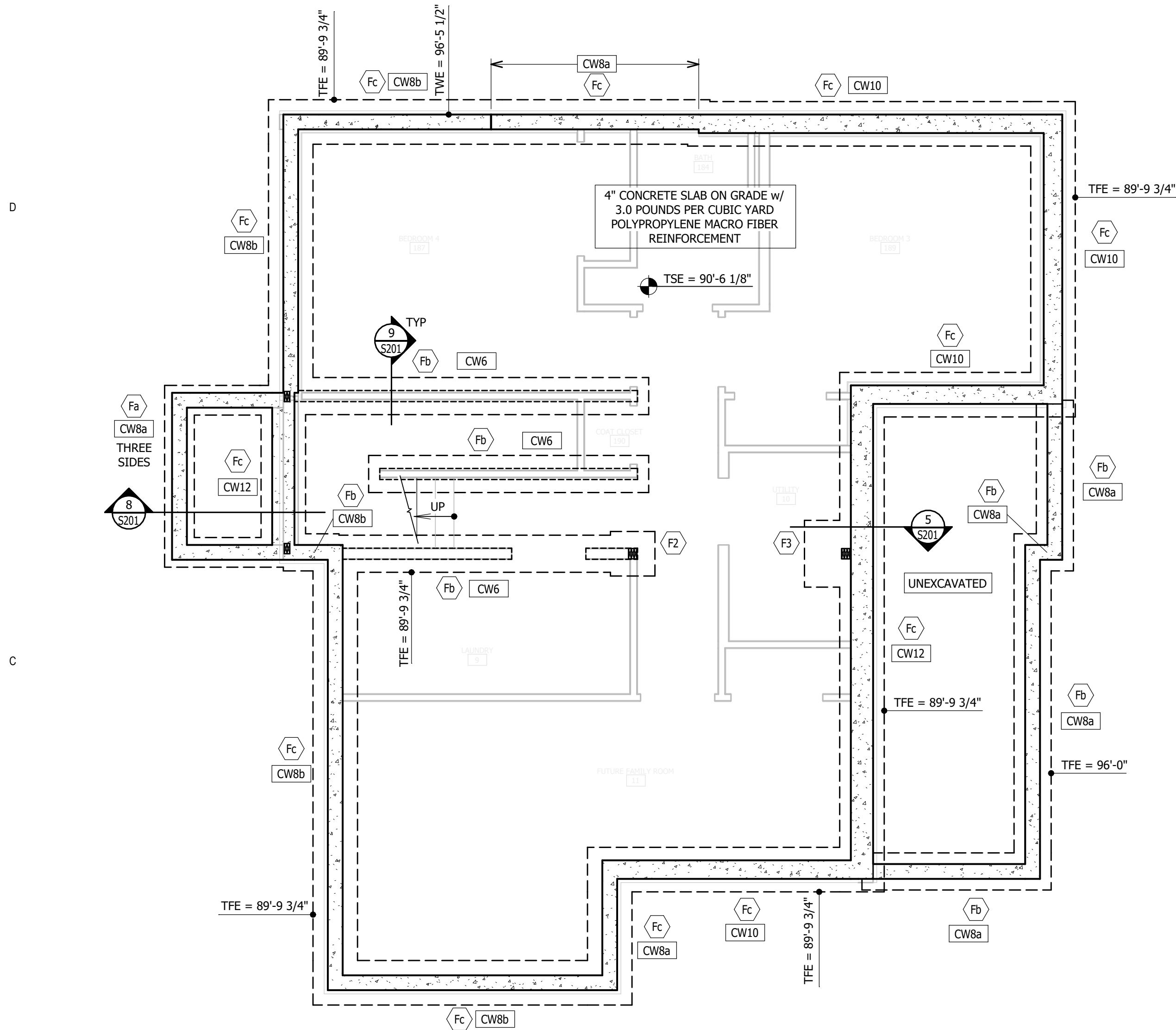
PROJECT NAME:
FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:
FOUNDATION PLANS

DRAWN BY: MAD
CHECKED BY: IEB
PROJ. NO: 24211
DRAWING NO:

S101



1 FOUNDATION PLAN
S101 1/4" = 1'-0"

$$1/4'' = 1'-0''$$

PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):

1. SEE DETAILS 2/S201 AND 3/S201 FOR TYPICAL SLAB ON GRADE JOINTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SLOPED SLABS AND FLOOR DRAINS.
3. MAINTAIN MINIMUM OF 42" COVER (FINAL GRADE ELEVATION TO BOTTOM OF FOOTING) AT ALL EXTERIOR WALL FOOTINGS. STEP FOOTINGS AS NECESSARY TO MAINTAIN COVER AND TO CLEAR UNDERGROUND UTILITIES/SLOPED SLABS. SEE DETAIL 1/S201 FOR TYPICAL COVERED FOOTING. APPROXIMATE LOCATIONS MARKED THUS: $\overline{\text{---}} \text{---} \overline{\text{---}}$.
4. SUMP PIT LOCATIONS AND ADJACENT FOUNDATIONS TO BE COORDINATED w/ MECHANICAL.



FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F2	2'-0" x 2'-0" x 12" THICK	(2) - #5 x 1'-6" EACH WAY BOTTOM
F3	3'-0" x 3'-0" x 12" THICK	(3) - #5 x 2'-6" EACH WAY BOTTOM
Fa	16" x 12" THICK CONTINUOUS	(2) - #5 CONTINUOUS
Fb	20" x 12" THICK CONTINUOUS	(2) - #5 CONTINUOUS
Fc	24" x 12" THICK CONTINUOUS	(2) - #5 CONTINUOUS

2 FOUNDATION DIMENSION PLAN
S101 1/4" = 1'-0"

$$1/4'' = 1'-0''$$

- PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):
1. SEE ARCHITECTURAL DRAWINGS FOR OPENING DIMENSIONS.



CONCRETE WALL REINFORCEMENT SCHEDULE

MARK	WALL TYPE	REINFORCEMENT
CW6	6" CONCRETE	SEE DETAIL
CW8a	8" CONCRETE	#5 @ 18" OC EACH WAY (INSIDE FACE)
CW8b	8" CONCRETE	#5 @ 18" OC EACH WAY (OUTSIDE FACE)
CW10	10" CONCRETE	#5 @ 18" OC EACH WAY (INSIDE FACE)
CW12	12" CONCRETE	#5 @ 18" OC EACH WAY (INSIDE FACE)

SCHEDULE NOTES (TYPICAL UNLESS NOTED OTHERWISE):

1. PROVIDE VERTICAL DOWELS TO FOUNDATION TO MATCH SIZE AND SPACING OF WALL REINFORCEMENT. PROVIDE STANDARD HOOK WHERE REQUIRED.
2. PROVIDE CLASS B LAP ON DOWELS IN WALL.
3. PROVIDE DOWELS TO WITHIN 3" OF BOTTOM OF FOOTING.

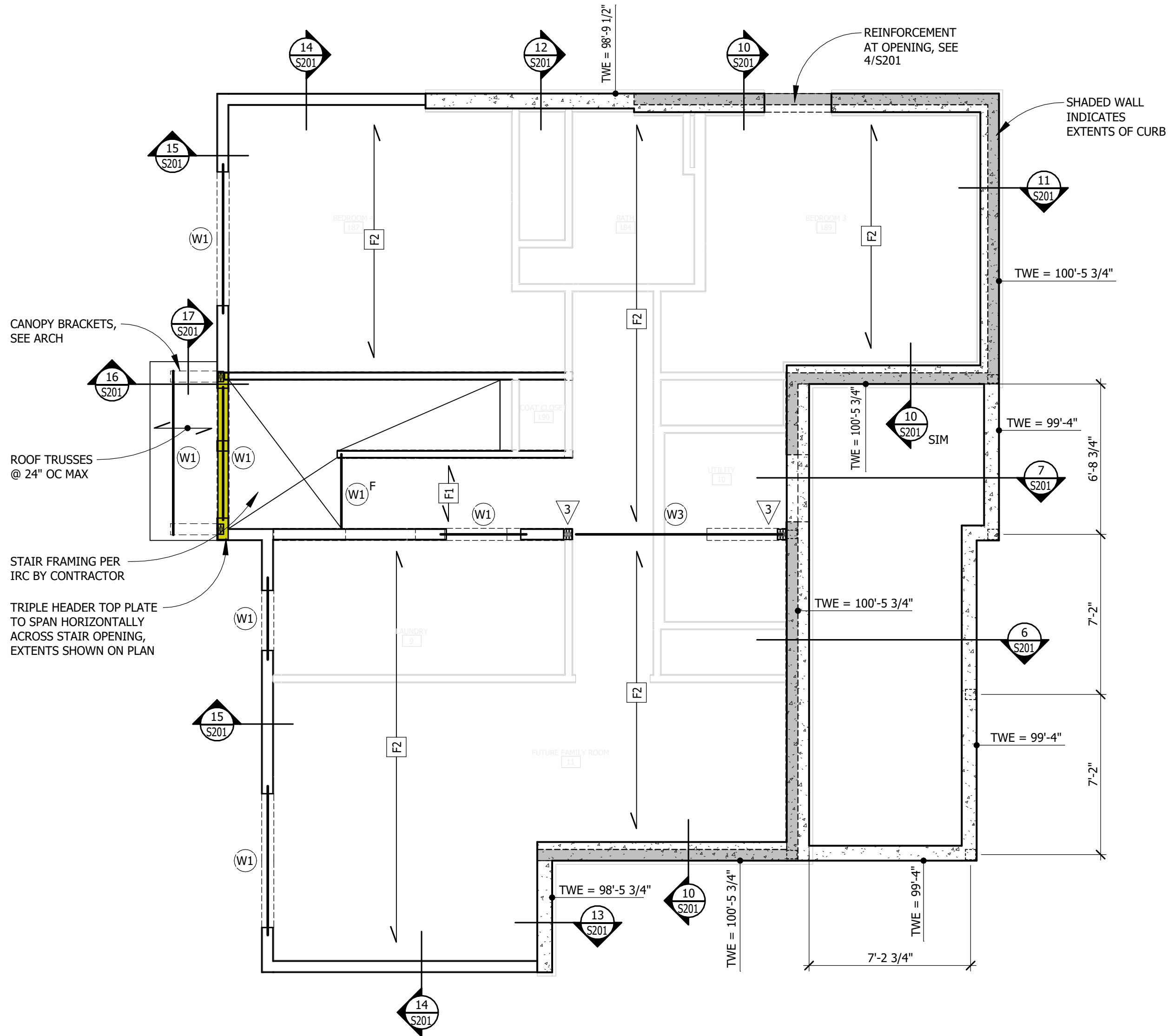
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D

C

B

A



1 FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"

PLAN

- PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):
- MARKS THIS: "  " INDICATE SPAN DIRECTION OF FRAMING MEMBERS. SEE WOOD FLOOR/ROOF FRAMING SCHEDULE FOR SIZE AND SPACING OF MEMBERS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATION.
 - MARKS THIS: "  " INDICATE NUMBER OF STUDS REQUIRED FOR BEARING. IF NUMBER NOT SHOWN, PROVIDE A MINIMUM OF TWO STUDS (3" LENGTH OF BEARING). FULL WIDTH OF BEAM/HEADER MUST BE SUPPORTED.
 - DASHED WALLS INDICATE BEARING WALLS SUPPORTED ON THIS FRAMING LEVEL.
 - EXTERIOR WALLS SHALL BE 2 x 6 STUDS @ 16" OC. INTERIOR BEARING WALLS SHALL BE 2 x 4 OR 2 x 6 STUDS @ 16" OC. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WALL TYPES.
 - MARKS THIS: "  " INDICATE FRAMING TO BE CONTINUOUS OVER SUPPORT.
 - SEE WALL BRACING PLANS FOR ADDITIONAL BRACED WALL FRAMING, CONNECTIONS, AND DETAILS.

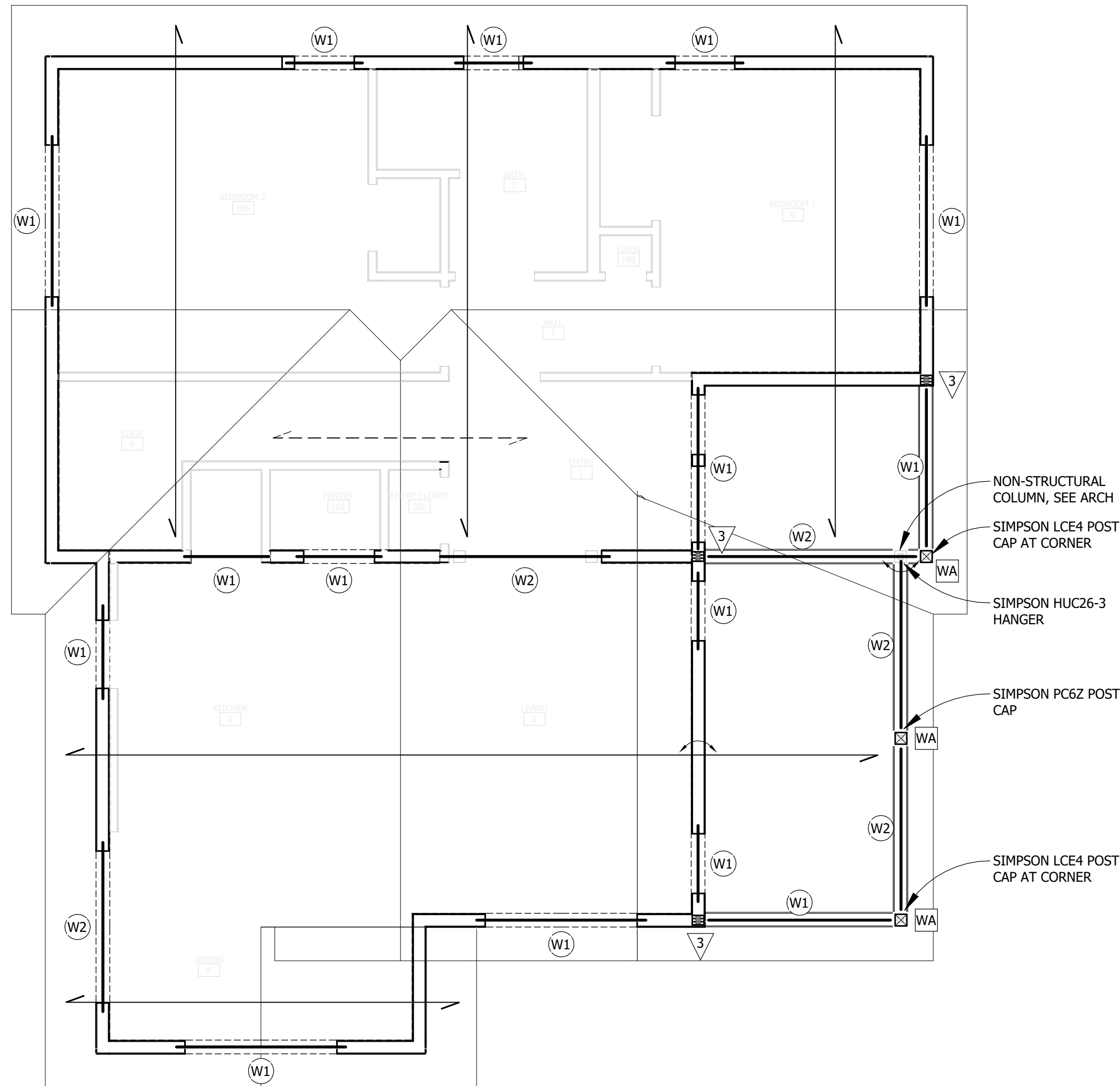


WOOD BEAM/BEARING HEADER SCHEDULE	
MARK	SIZE
W1	(2) - 2 x 8
W2	(3) - 2 x 8
W3	(3) - 1 3/4" x 9 1/4" LVL

- SCHEDULE NOTES (TYPICAL UNLESS NOTED OTHERWISE):
- "  " INDICATES TOP FLUSH BEAM/HEADER (TOP OF BEAM = TOP OF FLOOR/ROOF FRAMING).
 - "  " INDICATES BOTTOM FLUSH BEAM/HEADER (BOTTOM OF BEAM = BOTTOM OF FLOOR/ROOF FRAMING).
 - HEADERS IN NON-LOAD BEARING WALLS ARE NOT INDICATED ON PLAN.

WOOD FLOOR/ROOF FRAMING SCHEDULE			
MARK	SIZE	SPACING	HANGER
F1	2 x 8 JOISTS	16" OC	-
F2	16" OPEN WEB WOOD FLOOR TRUSSES	19.2" OC (MAX)	BY SUPPLIER

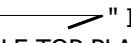
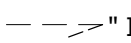
WOOD COLUMN SCHEDULE		
MARK	SIZE	COLUMN BASE
WA	6 x 6 REALPOST SPF	SIMPSON ABU66Z POST BASE w/ 5/8" DIA x 6" SIMPSON TITEN HD



2 ROOF FRAMING PLAN

1/4" = 1'-0"

PLAN

- PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):
- MARKS THIS: "  " INDICATE PREFABRICATED WOOD ROOF TRUSSES @ 24" OC. ANCHOR EACH TRUSS TO DOUBLE TOP PLATE WITH (1) - SIMPSON H2.5 HURRICANE ANCHOR (OR EQUAL) AT EACH BEARING LOCATION. SEE ARCHITECTURAL DRAWINGS FOR ROOF SLOPES.
 - MARKS THIS: "  " INDICATE VALLEY SET TRUSSES @ 24" OC. SEE STRUCTURAL NOTES FOR INFORMATION REGARDING HIP-SETS, DORMER FRAMING, AND PIGGY-BACK TRUSSES, ETC.
 - TRUSS SUPPLIER TO SPECIFY IF ROOF SHEATHING SHALL BE APPLIED PRIOR TO PLACING "OVER-FRAMING". TRUSS SUPPLIER SHALL NOTIFY STRUCTURAL ENGINEER OF ANY PROPOSED REVISIONS MADE TO LAYOUT INDICATED ON THIS PLAN.
 - TRUSS SUPPLIER SHALL PROVIDE ALL HANGERS NECESSARY FOR TRUSS-TO-TRUSS CONNECTIONS.
 - VERIFY ALLOWABLE BEARING LOCATIONS FOR GIRDER TRUSSES WITH STRUCTURAL ENGINEER PRIOR TO FINAL DESIGN STAGE. PROVIDE METAL BEARING ENHANCERS AS NECESSARY TO UTILIZE STUD POSTS SHOWN ON PLAN.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ROOF TRUSS BEARING ELEVATION.
 - MARKS THIS: "  " INDICATE COLUMN REQUIRED FOR BEARING. SEE COLUMN SCHEDULE FOR ADDITIONAL INFORMATION.
 - EXTERIOR WALLS SHALL BE 2 x 6 STUDS @ 16" OC. INTERIOR BEARING WALLS SHALL BE 2 x 4 OR 2 x 6 STUDS @ 16" OC. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WALL TYPES.
 - MARKS THIS: "  " INDICATE FRAMING TO BE CONTINUOUS OVER SUPPORT.



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CARVER COUNTY CDA

**705 N. WALNUT STREET
CHASKA, MN 55318**

CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401



THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

1	10/22/2024	CONSTRUCTION DOCUMENTS
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: 

Typed or Printed Name: ISAAC E. BLIEK

Date: 10/22/2024 License Number: 61184

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PROJECT NAME:

FRANKLIN AVE. HOUSE

**413 FRANKLIN AVE. NW
WATERTOWN, MN**

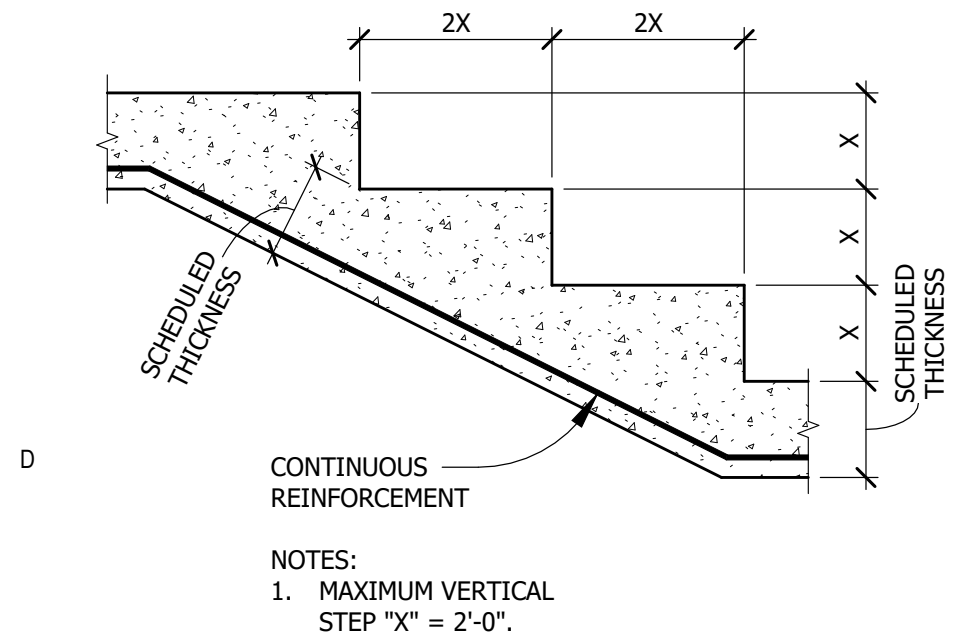
DRAWING TITLE:

FRAMING PLANS

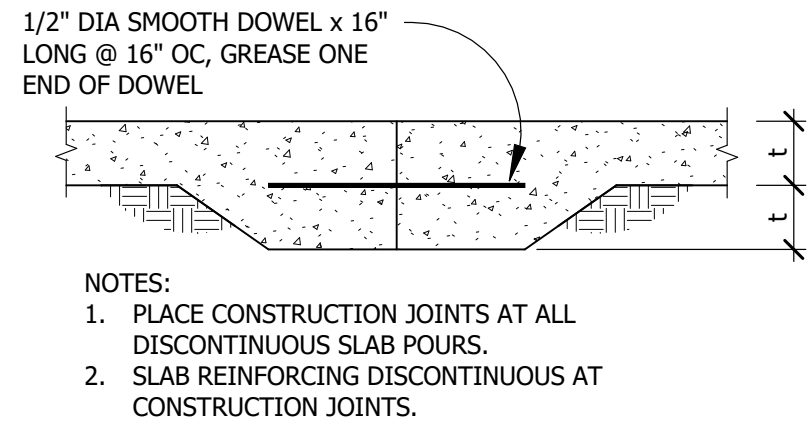
DRAWN BY: MAD
CHECKED BY: IEB
PROJ. NO: 24211
DRAWING NO:

S102

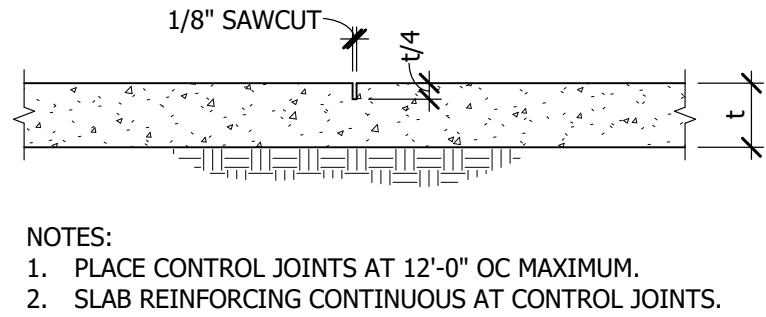
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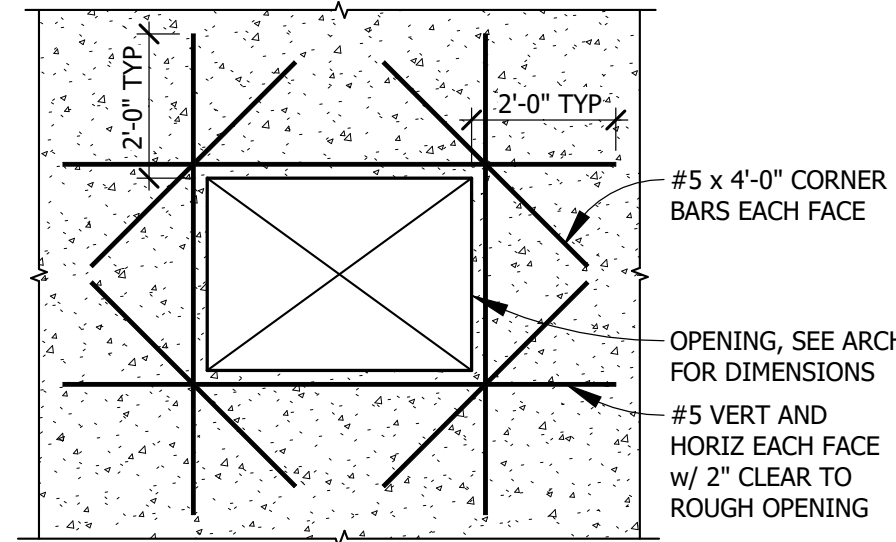
1 TYPICAL STEPPED FOOTING
S201 1/2" = 1'-0"



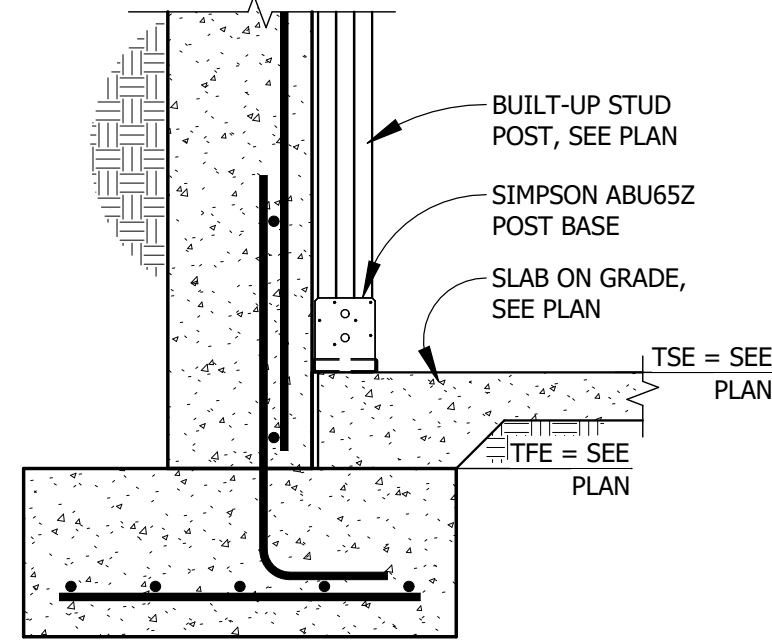
2 TYPICAL CONSTRUCTION JOINT
S201 1/2" = 1'-0"



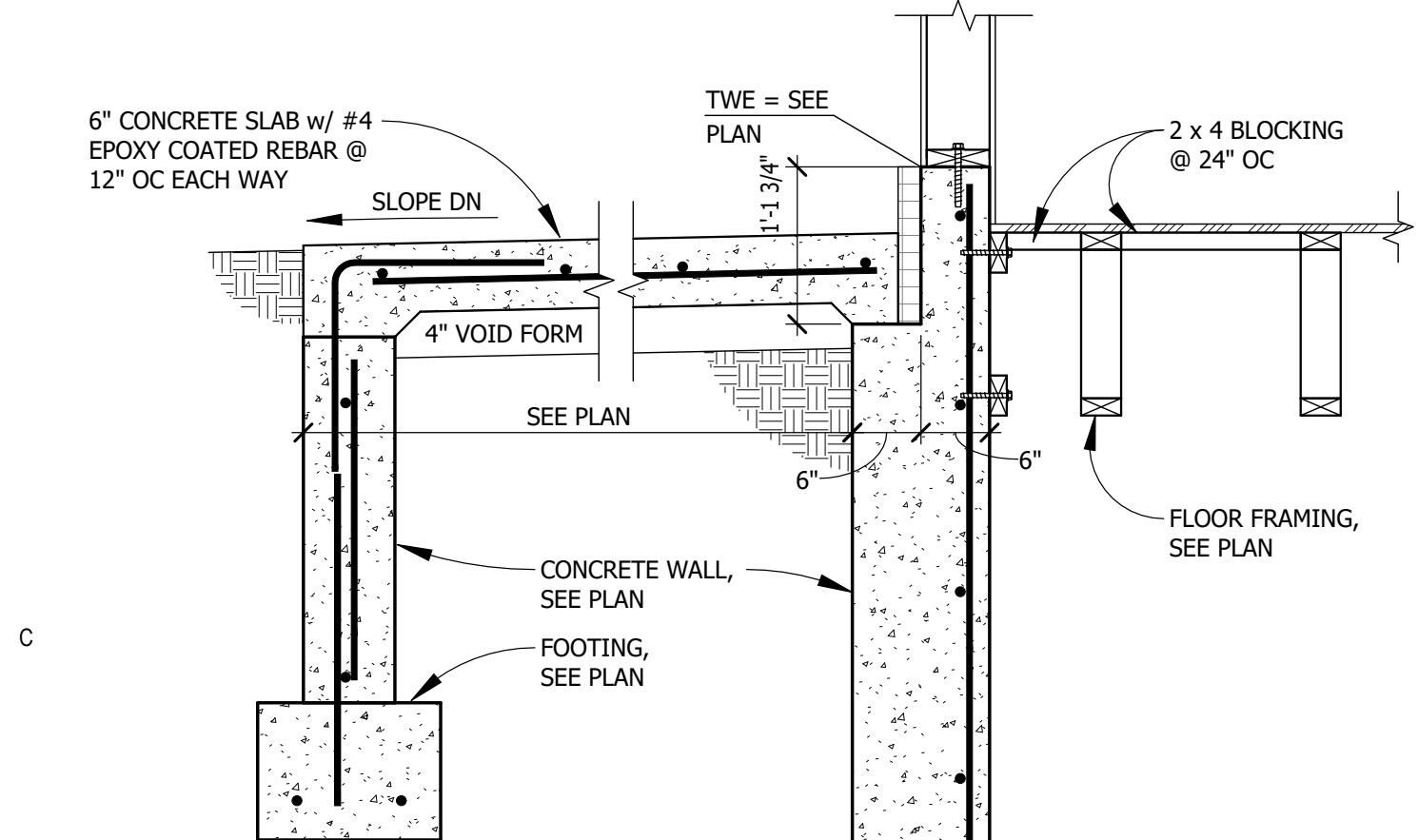
3 TYPICAL CONTROL JOINT
S201 1/2" = 1'-0"



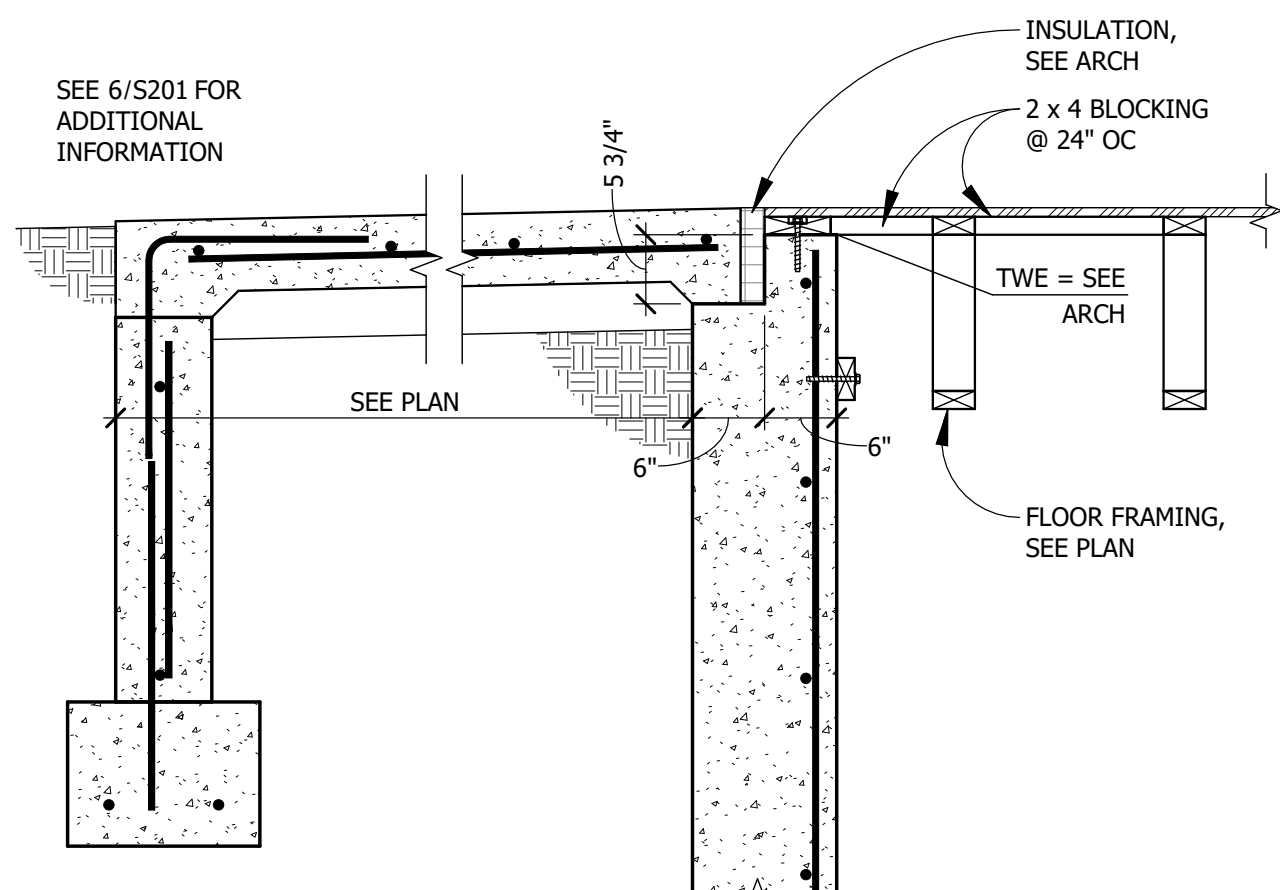
4 CONCRETE WALL REINFORCEMENT AT OPENING
S201 3/8" = 1'-0"



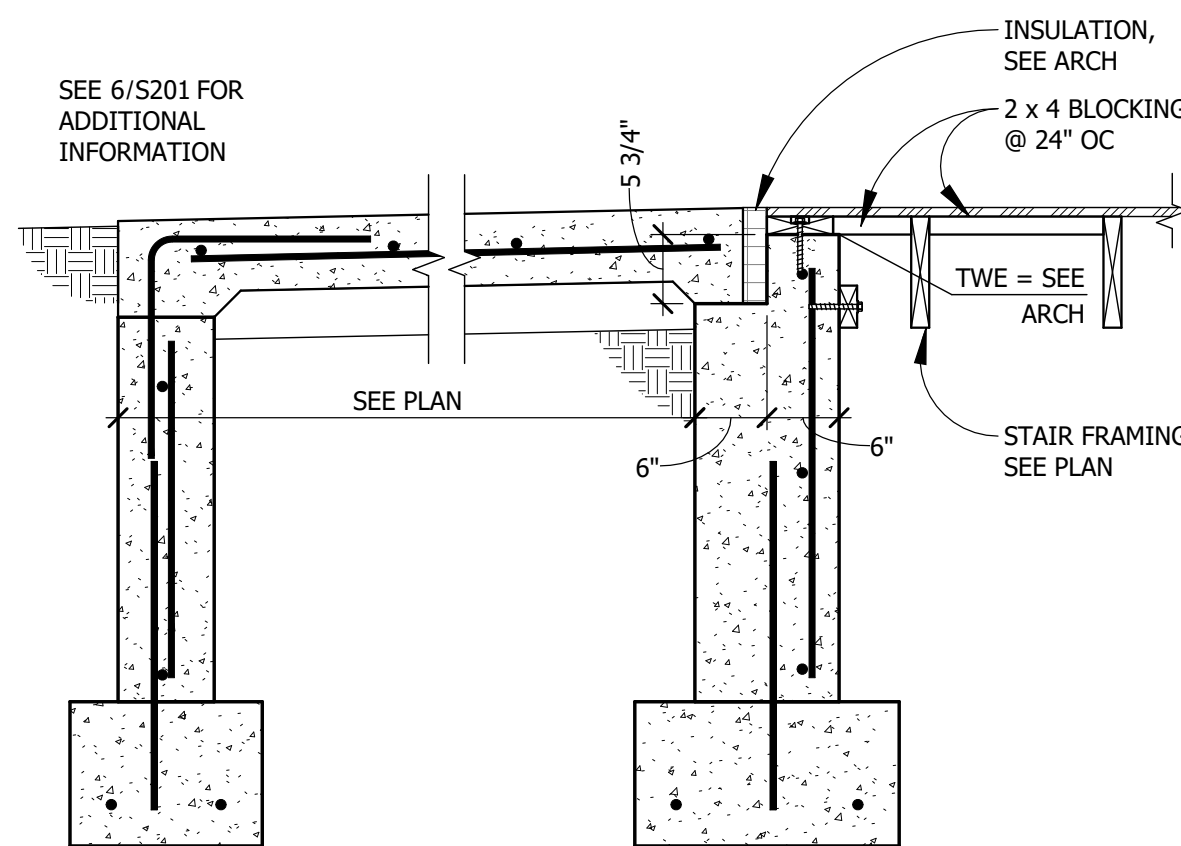
5 SECTION
S201 3/4" = 1'-0"



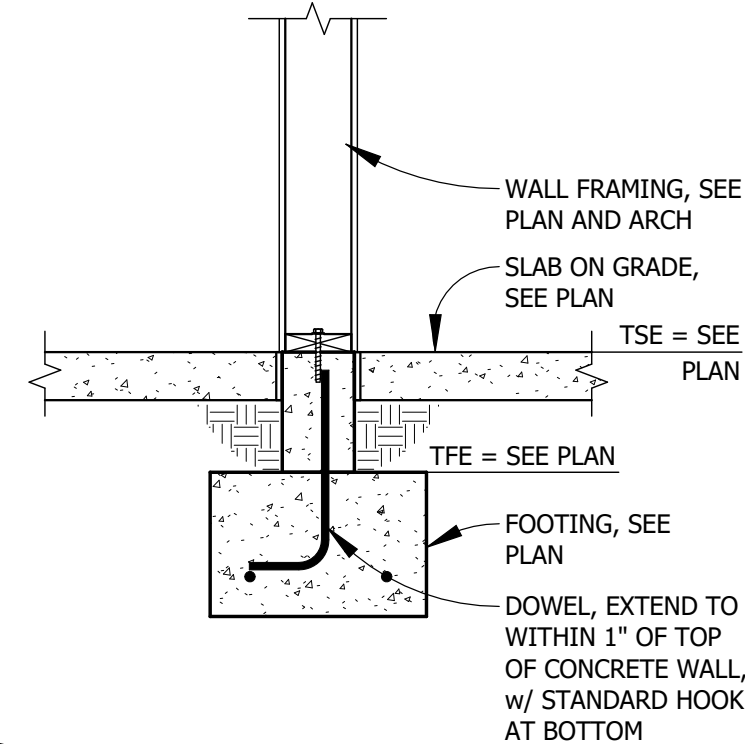
6 SECTION
S201 3/4" = 1'-0"



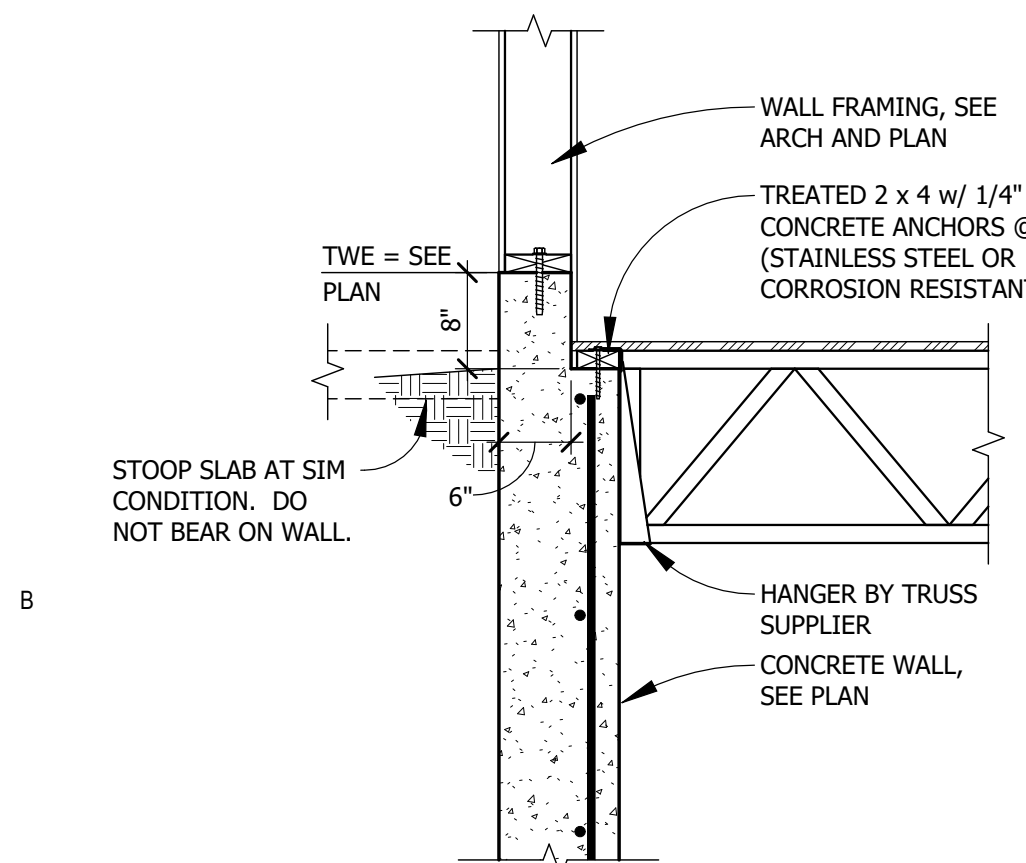
7 SECTION
S201 3/4" = 1'-0"



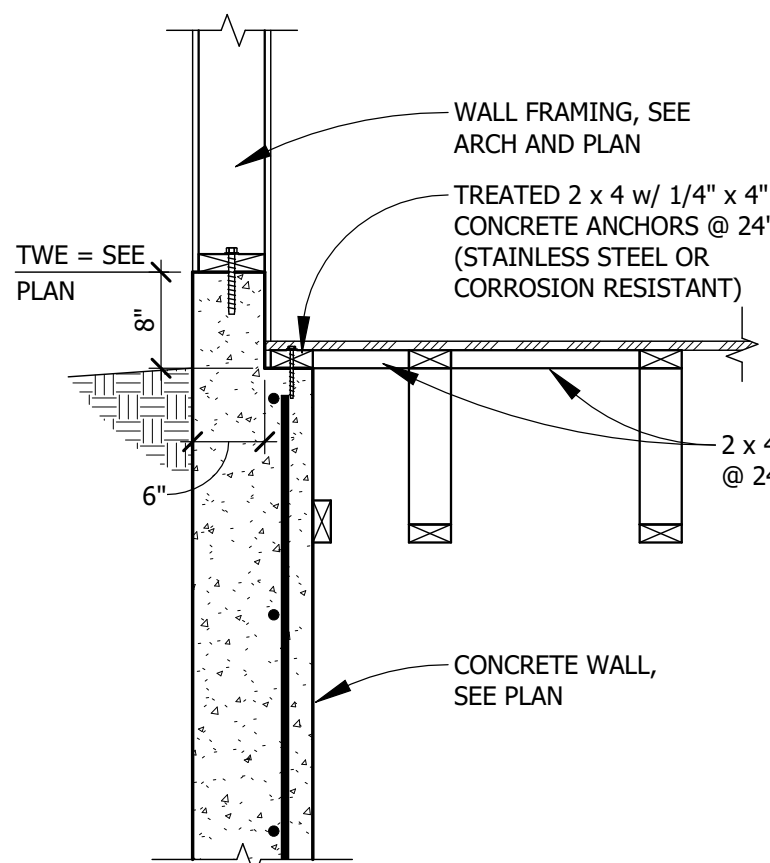
8 SECTION
S201 3/4" = 1'-0"



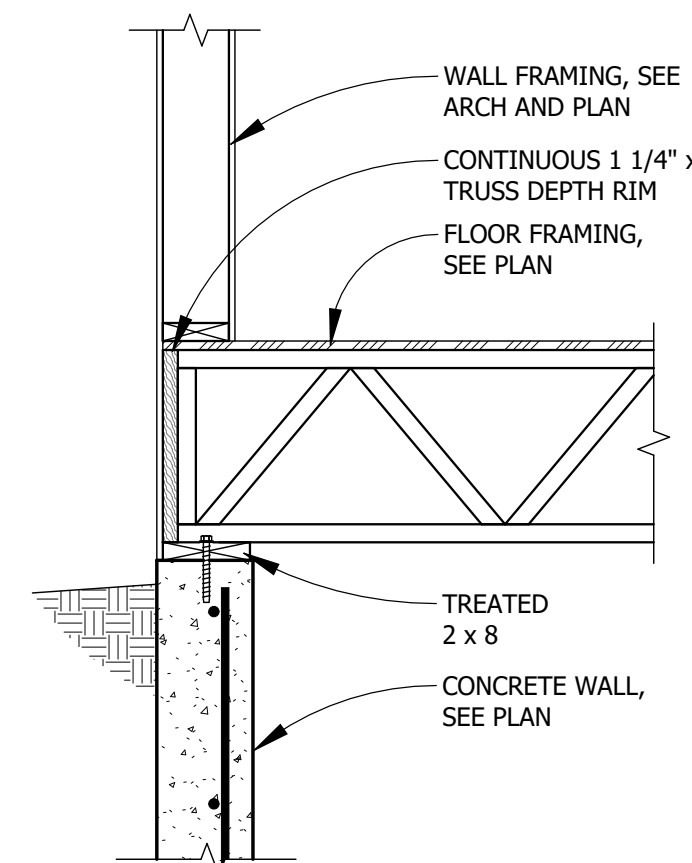
9 SECTION
S201 3/4" = 1'-0"



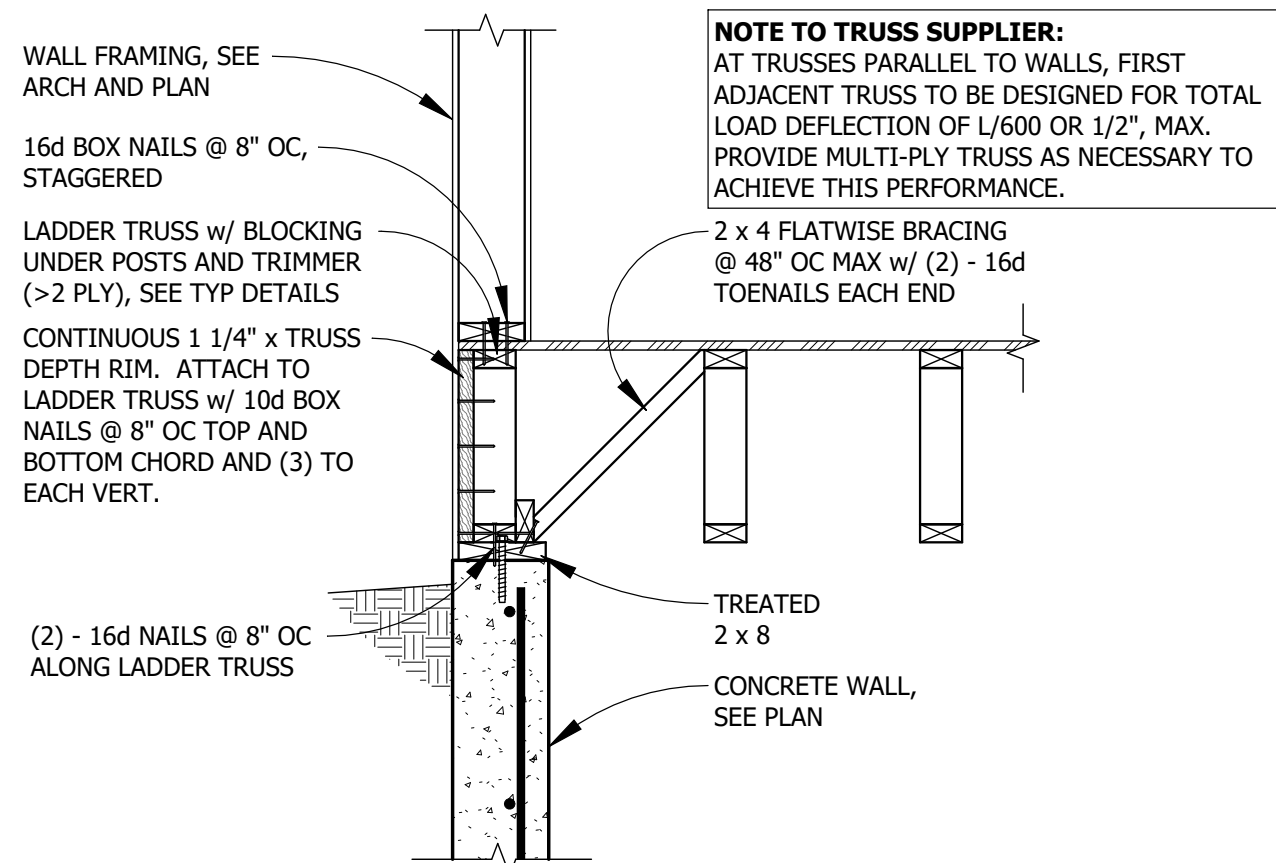
10 SECTION
S201 3/4" = 1'-0"



11 SECTION
S201 3/4" = 1'-0"

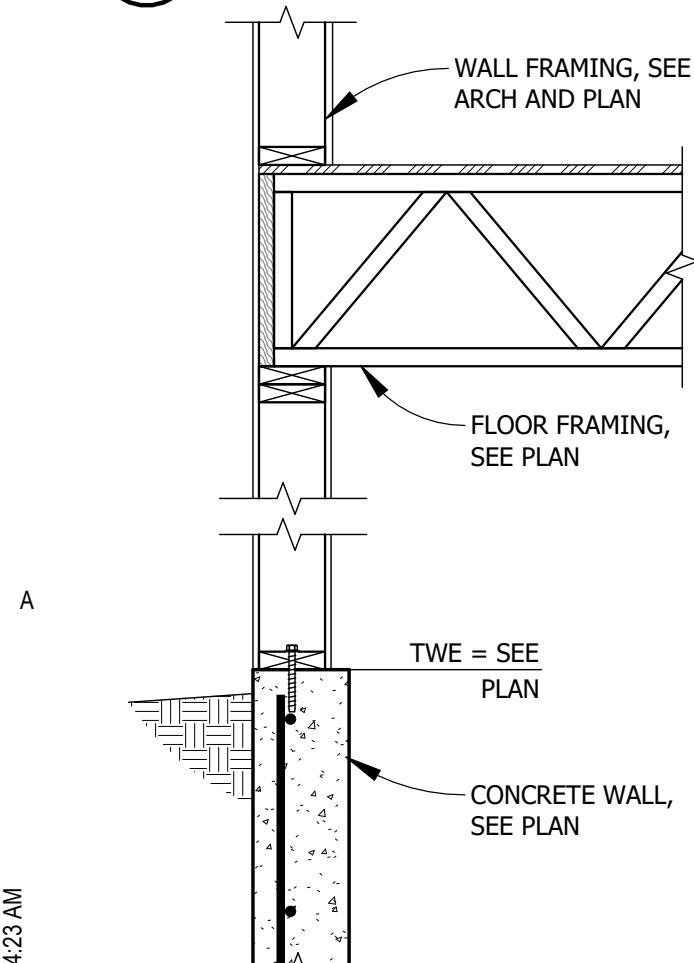


12 SECTION
S201 3/4" = 1'-0"

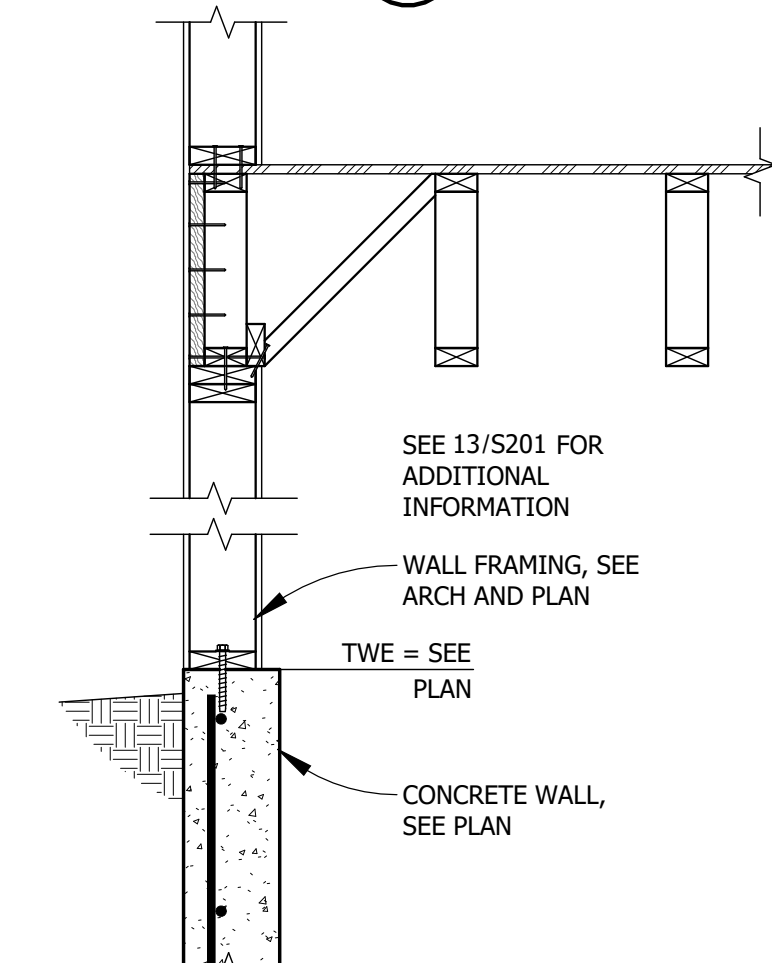


13 SECTION
S201 3/4" = 1'-0"

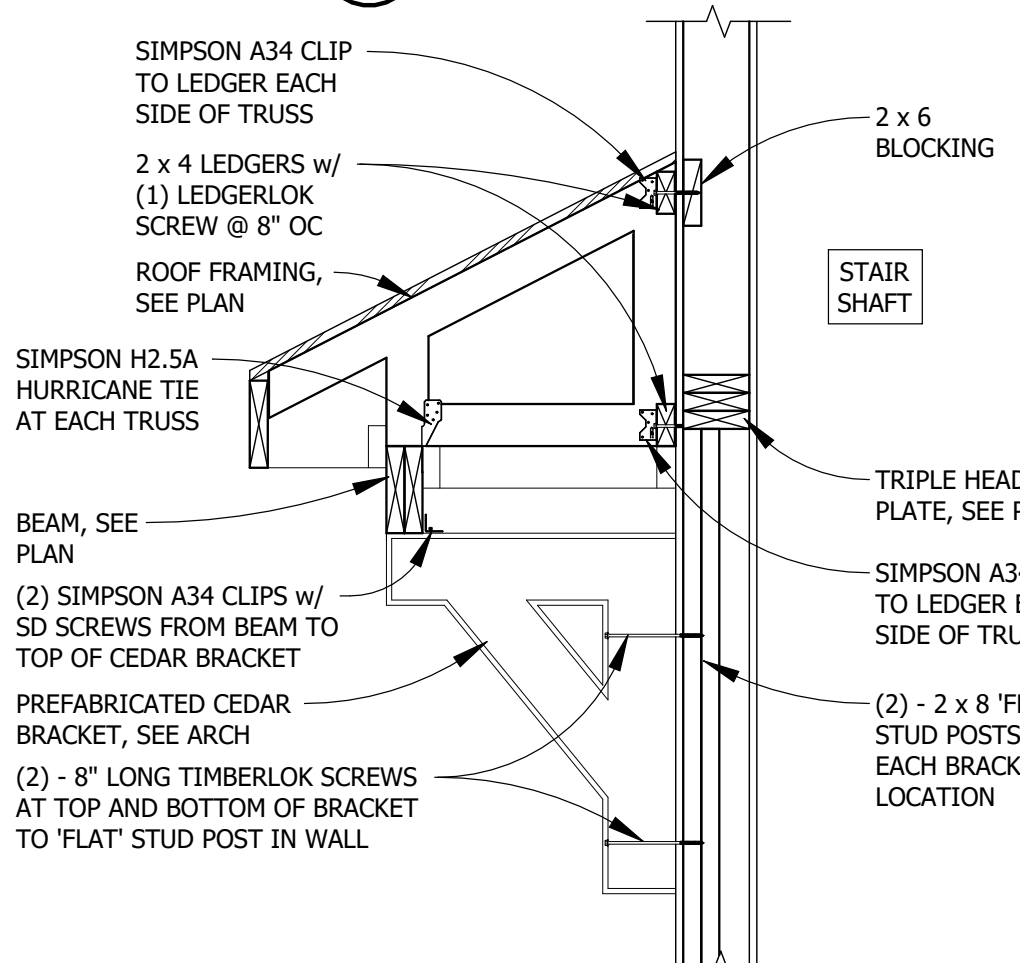
NOTE TO TRUSS SUPPLIER:
AT TRUSSES PARALLEL TO WALLS, FIRST ADJACENT TRUSS TO BE DESIGNED FOR TOTAL LOAD DEFLECTION OF L/600 OR 1/2", MAX. PROVIDE MULTI-PLY TRUSS AS NECESSARY TO ACHIEVE THIS PERFORMANCE.



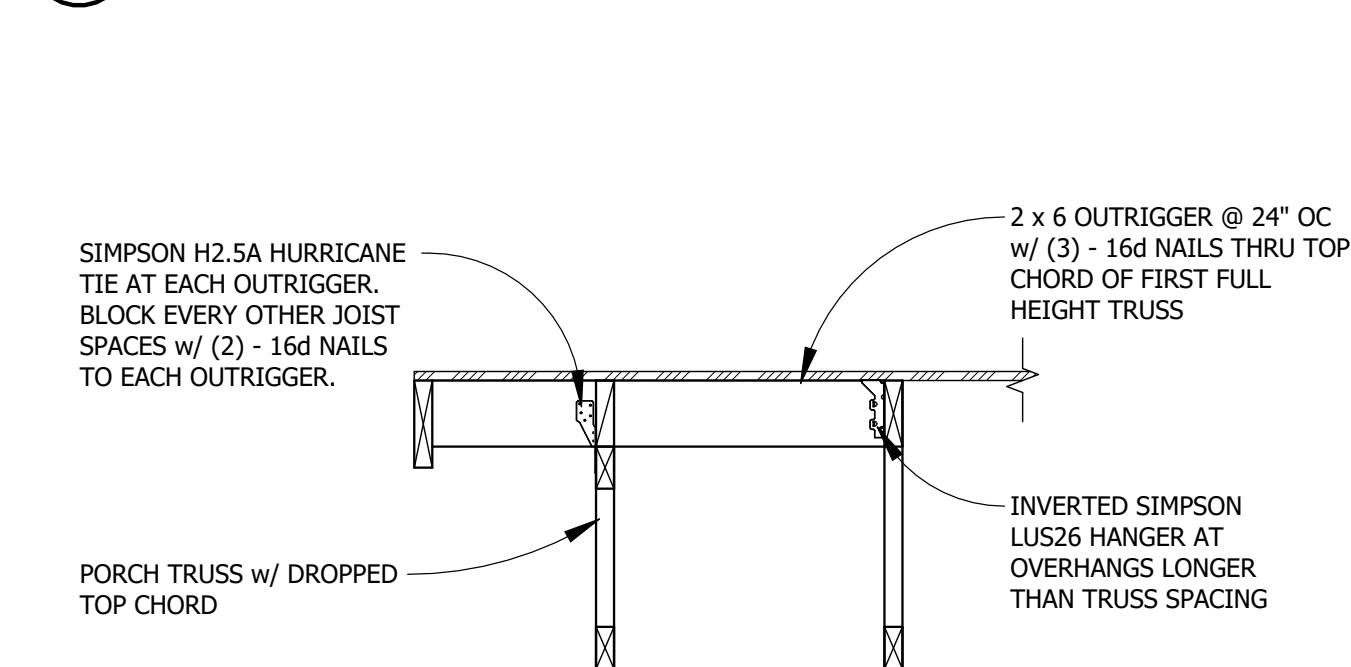
14 SECTION
S201 3/4" = 1'-0"



15 SECTION
S201 3/4" = 1'-0"



16 SECTION
S201 3/4" = 1'-0"



17 SECTION
S201 3/4" = 1'-0"



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CARVER COUNTY CDA

**705 N. WALNUT STREET
CHASKA, MN 55318**

CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S. SUITE 100
MINNEAPOLIS, MN 55401



THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

1	10/22/2024	CONSTRUCTION DOCUMENTS
NO	DATE	ISSUED FOR

NO	DATE	REVISION
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I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature:

Typed or Printed Name: ISAAC E. BLIEK

Date: 10/22/2024 License Number: 61184

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PROJECT NAME:
FRANKLIN AVE. HOUSE

**413 FRANKLIN AVE. NW
WATERTOWN, MN**

DRAWING TITLE:
DETAILS

DRAWN BY: MAD
CHECKED BY: IEB
PROJ. NO: 24211
DRAWING NO:

S201

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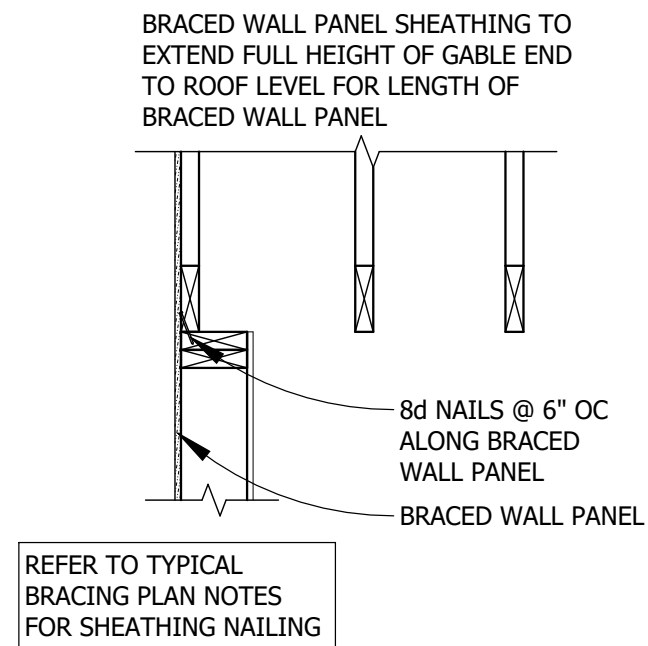
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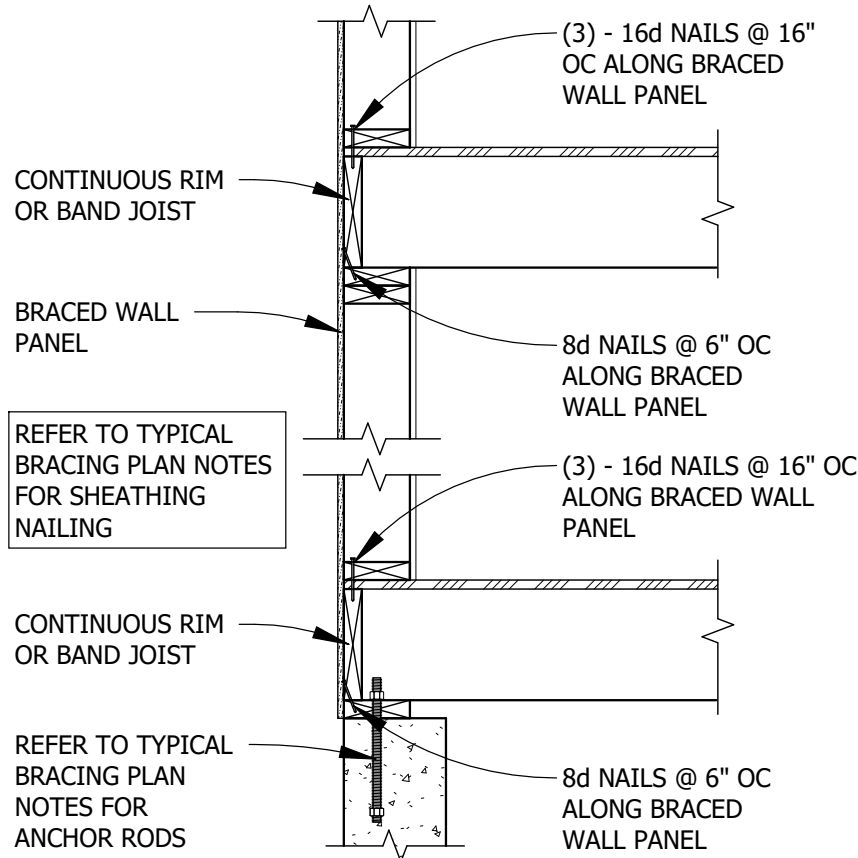
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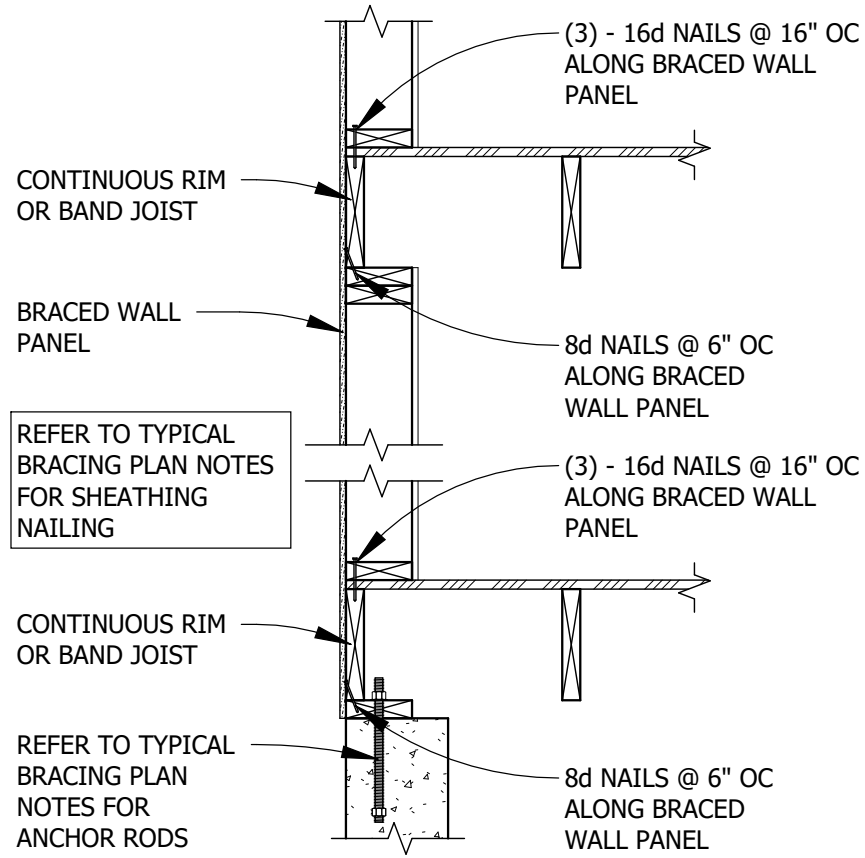
1
S301
BRACED WALL PANEL AT GABLE END
3/4" = 1'-0"



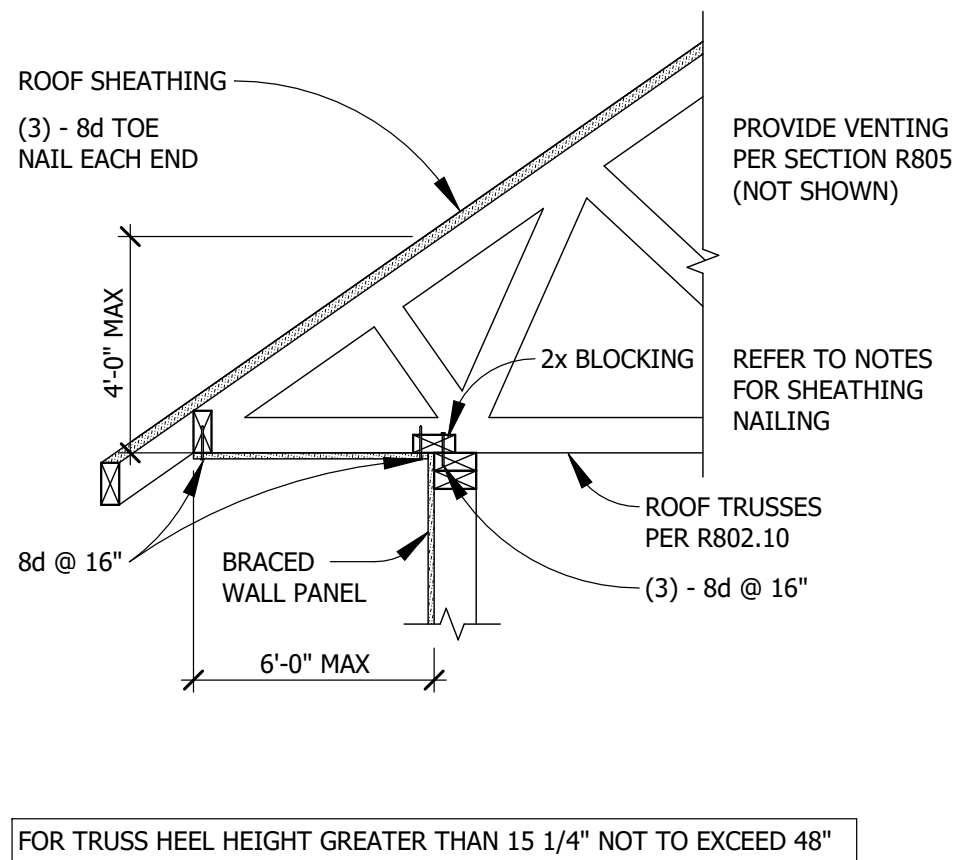
2
S301
BRACED WALL PANEL FRAMING PERPENDICULAR TO FLOOR FRAMING
3/4" = 1'-0"



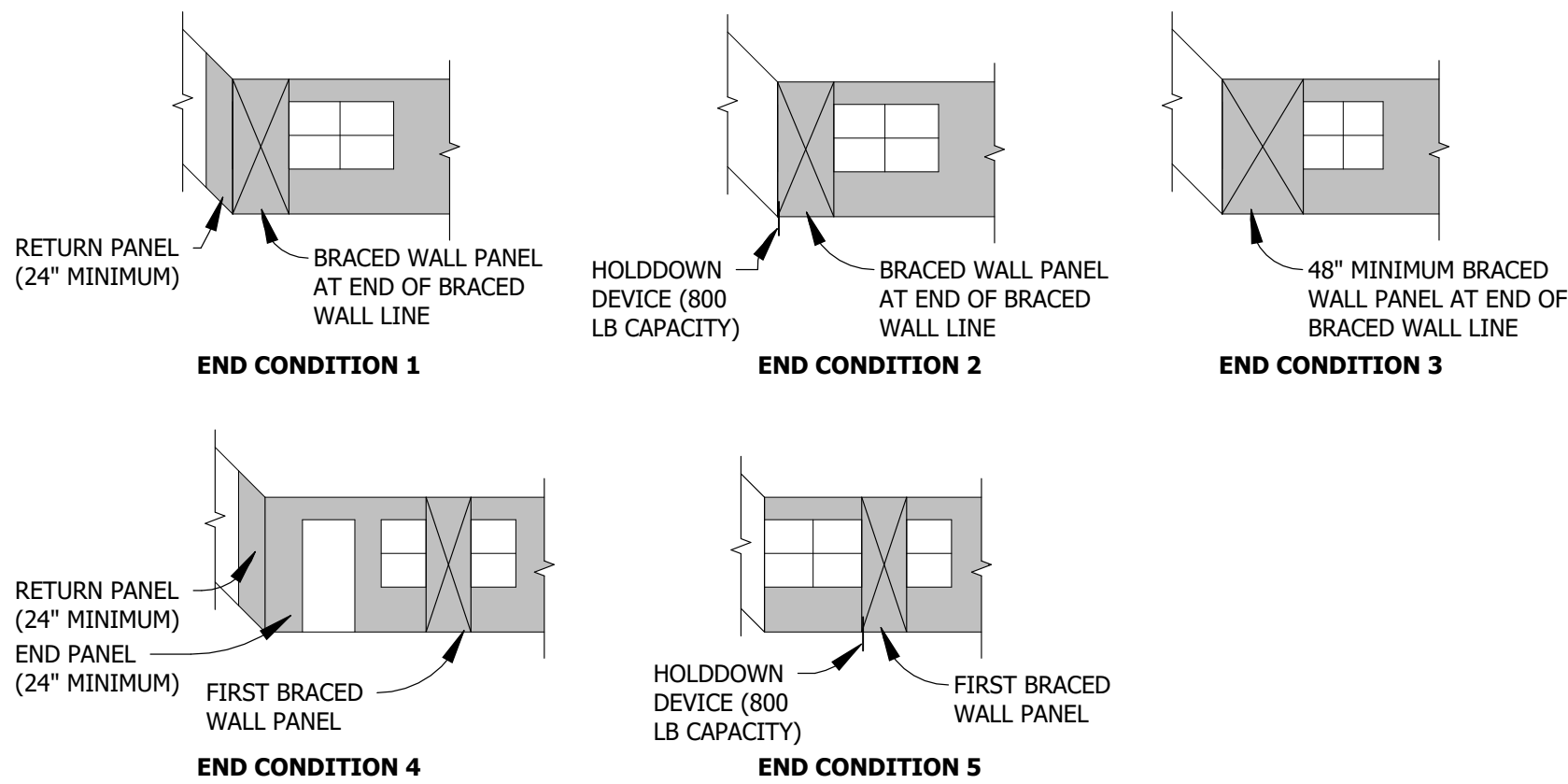
3
S301
BRACED WALL PANEL FRAMING PARALLEL TO FLOOR FRAMING
3/4" = 1'-0"



4
S301
BRACED WALL PANEL AT TRUSS/RAFTER BEARING
3/4" = 1'-0"



5
S301
BRACED WALL PANEL END CONDITIONS
1/2" = 1'-0"



NOTE 1
BRACING METHOD = CS-WSP

- ALL SHEATHABLE SURFACES OF EXTERIOR WALLS SHALL BE SHEATHED WITH WOOD STRUCTURAL PANELS, INCLUDING ABOVE AND BELOW OPENINGS AND AT GABLE WALLS.
- PROVIDE BRACED WALL PANELS AS SHOWN ON PLAN.
 - PROVIDE BLOCKING AT TOP AND BOTTOM OF BRACED WALL PANELS AS SHOWN ON ATTACHED DETAILS.
 - CONNECT SHEATHING AT BRACED WALL PANELS AS NOTED BELOW. ALL OTHER SHEATHING SHALL BE CONNECTED AS INDICATED ON TABLE R602.3(1)
 - BRACED WALL PANEL NAILING TO SUPPORTING MEMBERS
 - NAIL 1/2" MINIMUM THICKNESS APA RATED SHEATHING TO WALL STUDS, TOP PLATES, BOTTOM PLATE AND ALL INTERSECTING FRAMING MEMBERS WITH 6D NAILS.
 - SPACE NAILS 6" ON CENTER AT ALL SHEATHING PANEL EDGES.
 - SPACE NAILS 12" ON CENTER AT SHEATHING PANEL INTERIOR.
 - ALL SHEATHING PANEL JOINTS AT BRACED WALL PANELS SHALL OCCUR OVER FRAMING MEMBER OR HORIZONTAL BLOCKING.

NOTE 2
BRACING METHOD = GB

- 1/2" MINIMUM THICKNESS.
 - ALL EDGES AND ENDS SHALL OCCUR OVER FRAMING MEMBERS.
 - PROVIDE BLOCKING AS NEEDED.
 - GYPSUM BOARD SHEATHING SHALL OCCUR ON BOTH FACES OF BRACED WALL PANEL.
 - NAIL TO ALL FRAMING MEMBERS INCLUDING TOP AND BOTTOM PLATES AS FOLLOWS:
 - 13 GA NAIL, 1 3/4" LONG, 19/64" HEAD OR
 - 6d COOLER NAIL, 0.092" DIAMETER, 1 7/8" LONG, 1/4" HEAD OR
 - GYPSUM BOARD NAIL, 0.0915" DIAMETER, 1 7/8" LONG, 1/4" HEAD
- ALL NAILS SHALL BE SPACED 4" ON CENTER.

CONTRACTOR NOTE

WALL BRACING METHOD USING CONTINUOUS SHEATHING WITH WOOD STRUCTURAL PANELS (CS-WSP) IS, FOR ALL INTENTS AND PURPOSES, VERY SIMILAR TO CONVENTIONAL METHOD OF SHEATHING A SINGLE FAMILY RESIDENCE WHEN USING APA RATED PLYWOOD OR OSB. SHEATHING MUST COVER ALL EXTERIOR SURFACES INCLUDING ABOVE AND BELOW WALL OPENINGS AND FULL HEIGHT OF GABLES. PAY PARTICULAR ATTENTION TO SPECIAL CONDITIONS OF PORTAL FRAMES, HOLDDOWNS AND CONNECTION TO RIM JOISTS AND TRUSS/RAFTER FRAMING AS SHOWN ON PLAN AND DETAILS.

ANCHOR BOLTS

- WOOD SILL PLATES OF ALL EXTERIOR WALLS AND ANY INTERIOR BRACED WALL PANELS SHALL BE ANCHORED TO FOUNDATION WALLS OR SOLID SLABS AS FOLLOWS:
- ANCHOR BOLTS SHALL BE 1/2" DIAMETER AND SHALL EXTEND INTO FOUNDATION WALL OR SLAB A MINIMUM OF 7".
- PROVIDE A NUT AND WASHER FOR ALL ANCHOR BOLTS.
- ANCHOR BOLTS SHALL BE SPACED A MAXIMUM OF 4 FT ON CENTER.
- PROVIDE 2 BOLTS MINIMUM PER PLATE SECTION.
- LOCATE BOLTS 12" MAXIMUM AND 6" MINIMUM FROM END OF ANY PLATE SECTION.



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Date: 10/22/2024 License Number: 61184

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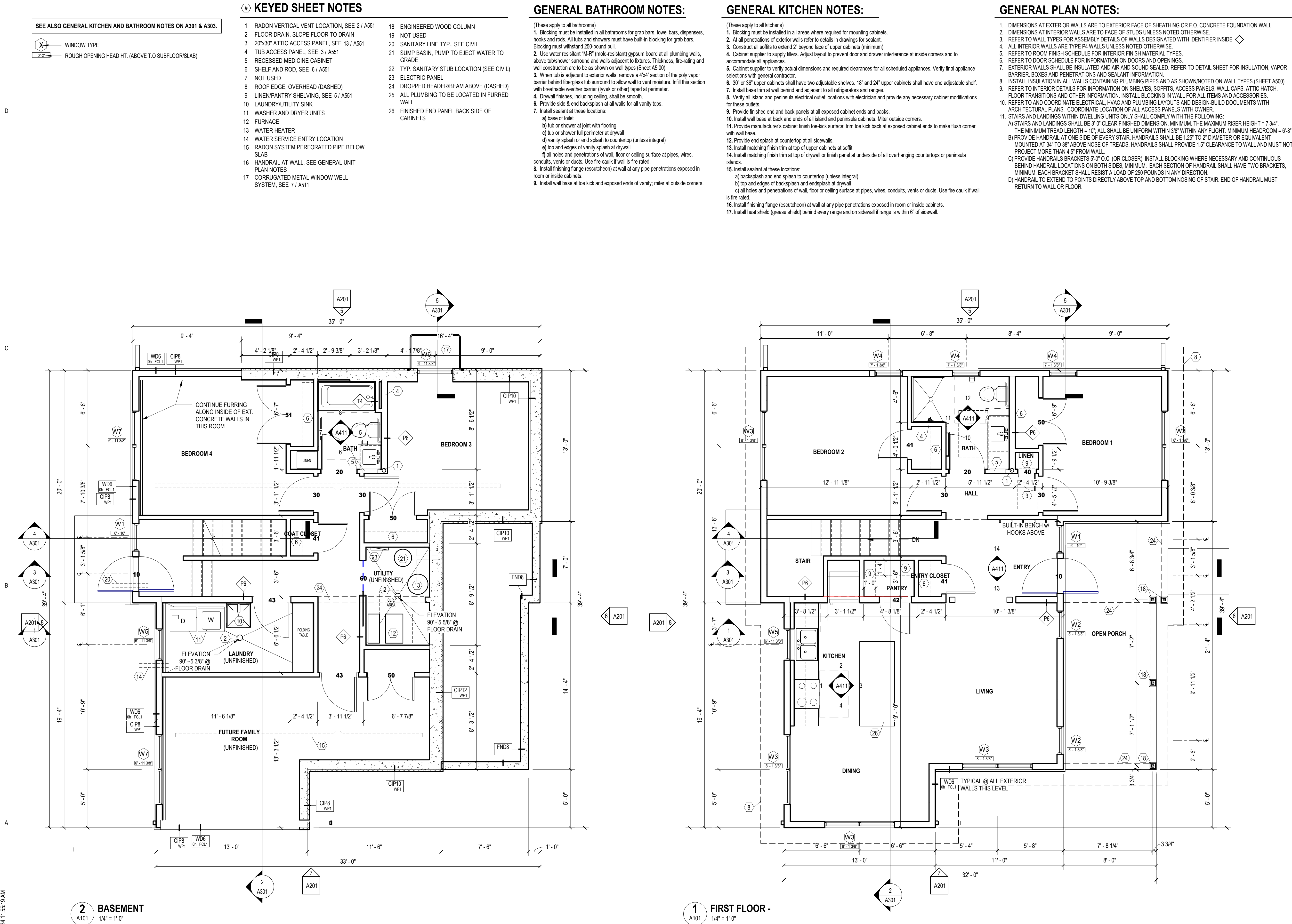
PROJECT NAME:
FRANKLIN AVE. HOUSE

**413 FRANKLIN AVE. NW
WATERTOWN, MN**

DRAWING TITLE:
**WALL BRACING
DETAILS**

DRAWN BY: MAD
CHECKED BY: IEB
PROJ. NO: 24211
DRAWING NO:

S301





CLIENT:

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:

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105 5TH AVE. S. SUITE 100
MINNEAPOLIS, MN 55401

VENT PRODUCT NFA(NET FREE AREA):
 LOW- ALUMINUM VENTED SOFFIT = 6.48 SQ. IN./LF OF PRODUCT
 HIGH- RIDGE VENT (RV) = 18 SQ. IN./LINEAL FOOT
 ROOF-MOUNTED 'CAN' VENT (CV)= 50 OPEN SQ IN/ UNIT

BUILDING ROOF
ATTIC AREA- 1,046SF
NFA REQUIRED- 1,046SF/300 = 3.49SF (503 SQ. IN.)

LOW- VENT. PROVIDED = 73.67LF ALUM. VENTED SOFFIT
73.67LF x 6.48 SQ. IN. = 477 SQ. IN.

HIGH- VENT. PROVIDED= 48.33LF OF RIDGE VENT
48.33LF x 18 SQ. IN. = 870 SQ. IN.

TOTAL- 477 SQ. IN. + 870 SQ. IN. = 1,347 SQ. IN. REQUIREMENT MET

GARAGE ROOF

ATTIC AREA- 484SF
NFA REQUIRED- $484\text{SF}/300 = 1.61\text{SF}$ (232 SQ. IN.)

LOW- VENT. PROVIDED = 22LF ALUM. VENTED SOFFIT
22LF x 6.48 SQ. IN. = 143 SQ. IN.
VENT. PROVIDED = 2 ROOF MOUNTED CAN VENTS
2 x 50SQ. IN = 100 SQ. IN.

HIGH- VENT. PROVIDED= 20.67LF OF RIDGE VENT
20.67LF x 18 SQ. IN. = 372 SQ. IN.

TOTAL- 143 SQ. IN. + 100 SQ. IN. + 372 SQ. IN. = 615 SQ. IN. REQUIREMENT MET

1. SOFFITS LOCATED WITHIN 5' OF THE PROPERTY LINE MUST BE FIRE RATED. SEE SITE PLAN AND FIRE RATED SOFFIT DETAIL.
2. ROOF TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER
3. ROOF SLOPES < 4:12 PITCH REQUIRES FULL COVERAGE OF 1 LAYER OF WATERPROOF SHINGLE UNDERLAYMENT PER MANUFACTURERS REQUIREMENTS
4. INSTALL WATERPROOF SHINGLE UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. AT EAVES, EXTEND THE UNDERLAYMENT FROM THE ROOF EDGE, UP SLOPE, TO 4'-0" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL. AT VALLEYS, INSTALL A 6'-0" WIDE UNDERLAYMENT STRIP, WITH LENGTH OF UNDERLAYMENT CENTERED ON THE VALLEY FOR ITS ENTIRE LENGTH. AT CRICKETS, INSTALL UNDERLAYMENT OVER ENTIRE CRICKET AREA TO 1'-0" BEYOND CRICKET EDGES. SEE THE SPECIFICATIONS FOR MORE INFORMATION.
5. SEE SHEET S541 AND S542 FOR ROOF DETAILS.
6. SEE EXTERIOR ELEVATIONS FOR DOWNSPOUT LOCATIONS.

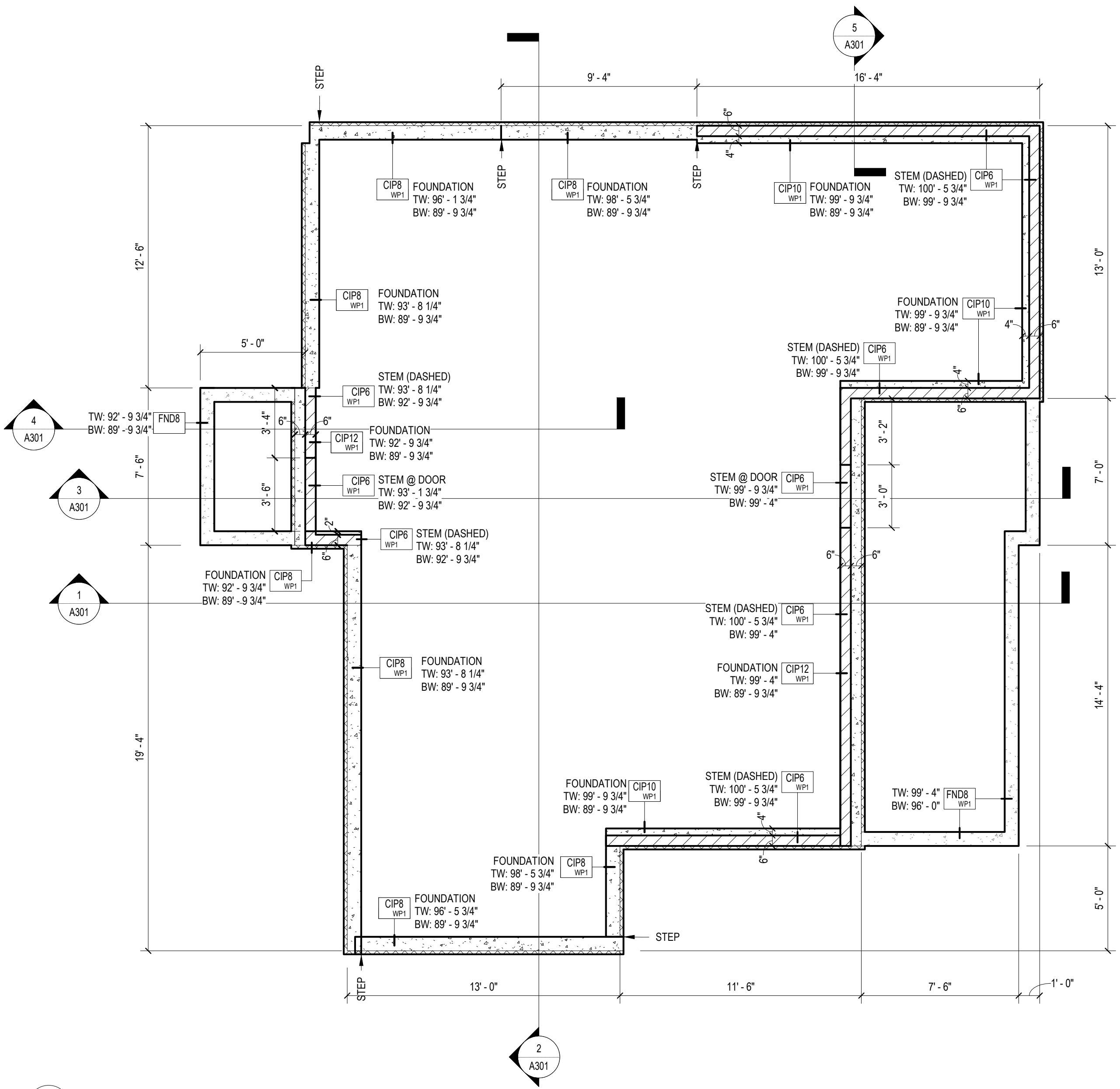


VENTED SOFFIT

KEYED SHEET NOTES

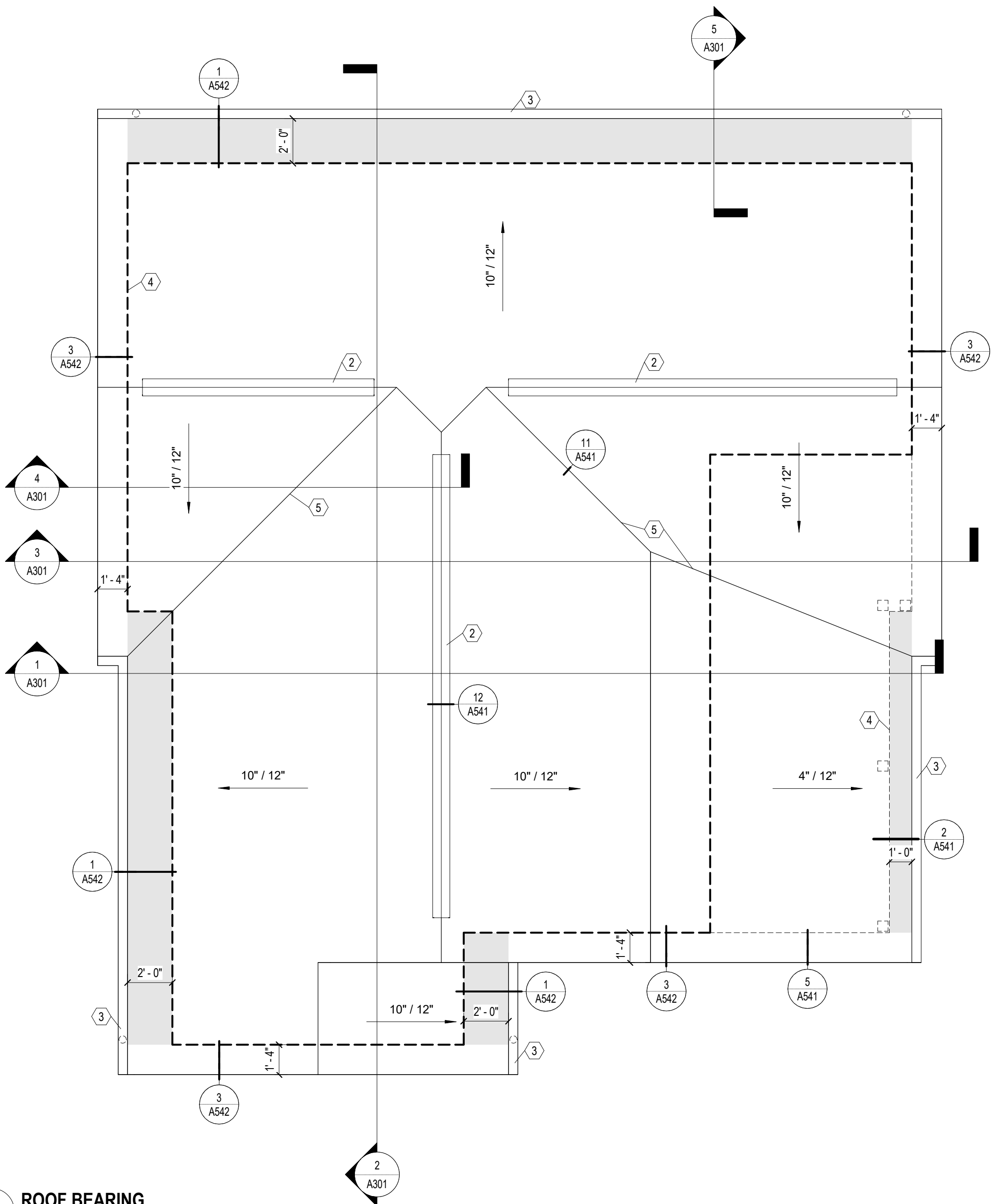
- 1 'CAN' ROOF VENT
2 RIDGE VENT, SEE 12 / A541
3 GUTTER & DOWNSPOUT
4 F.O. WALL SHEATHING BELOW
5 ROOF VALLEY, SEE 11 / A541

A111 $1/2'' = 1'-0''$



A111 $1/4" = 1'-0"$

A111 $1/4" = 1'-0"$



THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

10/22/24		CONSTRUCTION DOCUMENTS
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: Carol J. Kelly

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:

FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:

FOUNDATION & ROOF PLAN

DRAWN BY: XXX

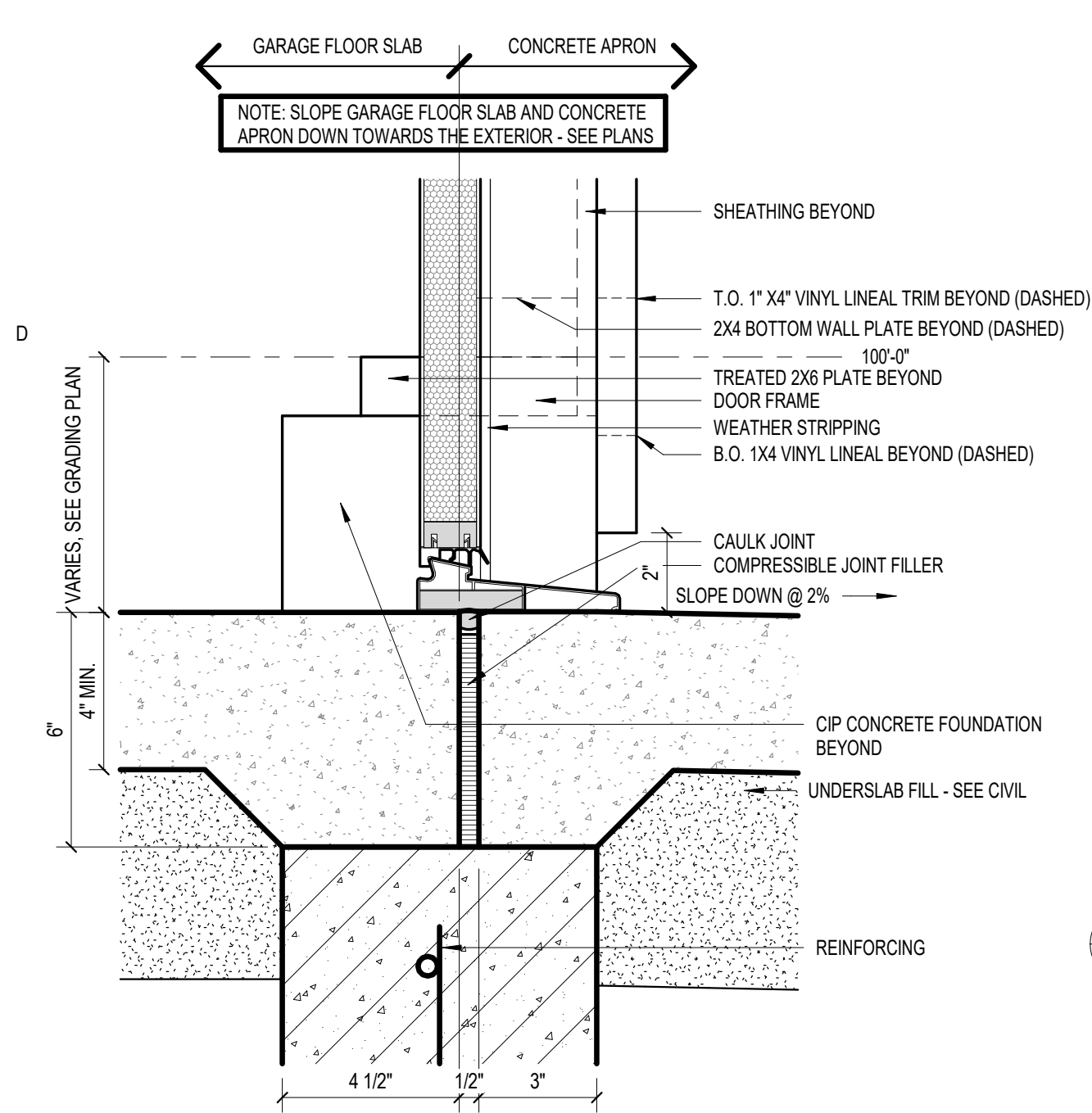
CHECKED BY: XXX

PROJ. NO: 240559

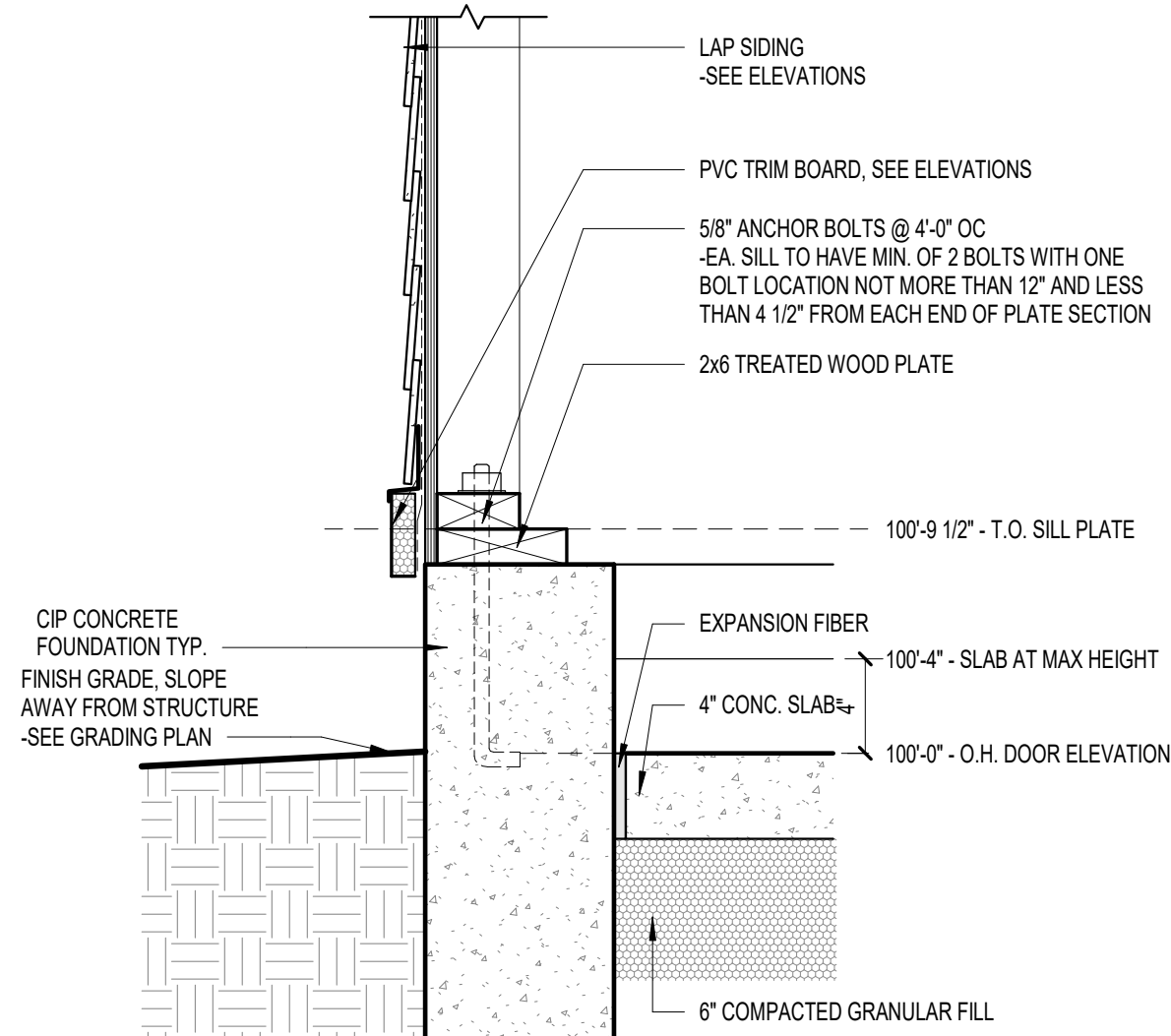
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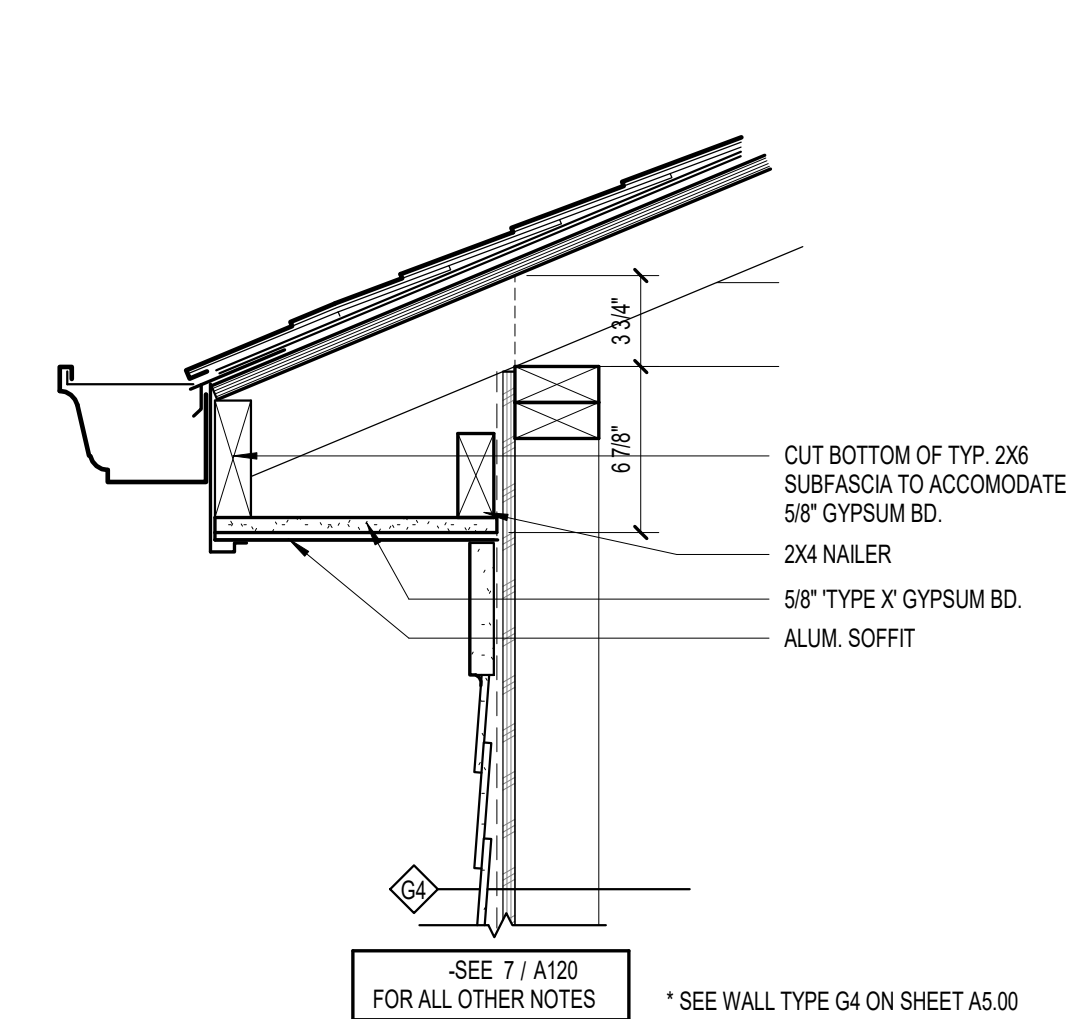
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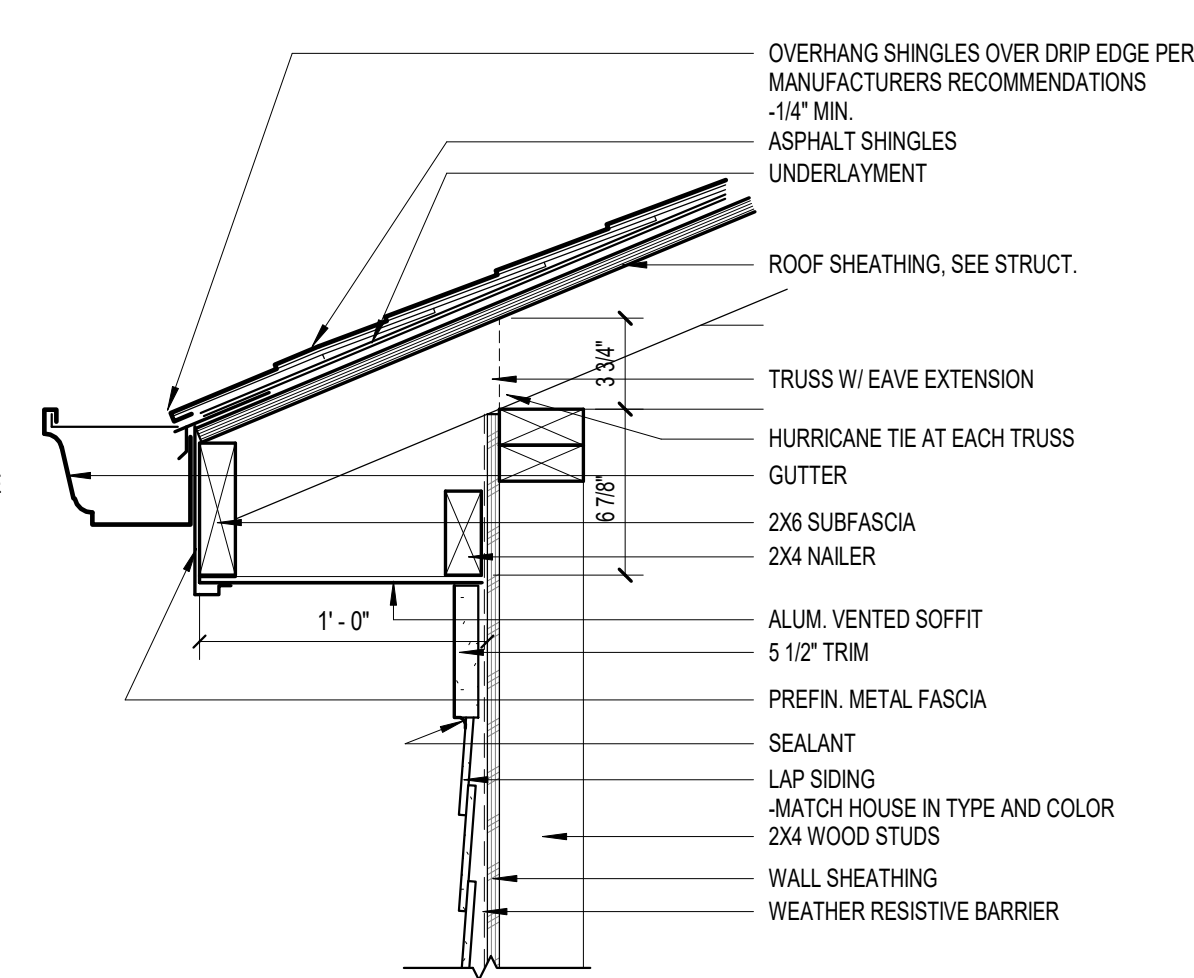
9 GARAGE FOOTING DETAIL - TYP.
A120 1 1/2" = 1'-0"



8 GARAGE EAVE - FIRE RATED
A120 1 1/2" = 1'-0"



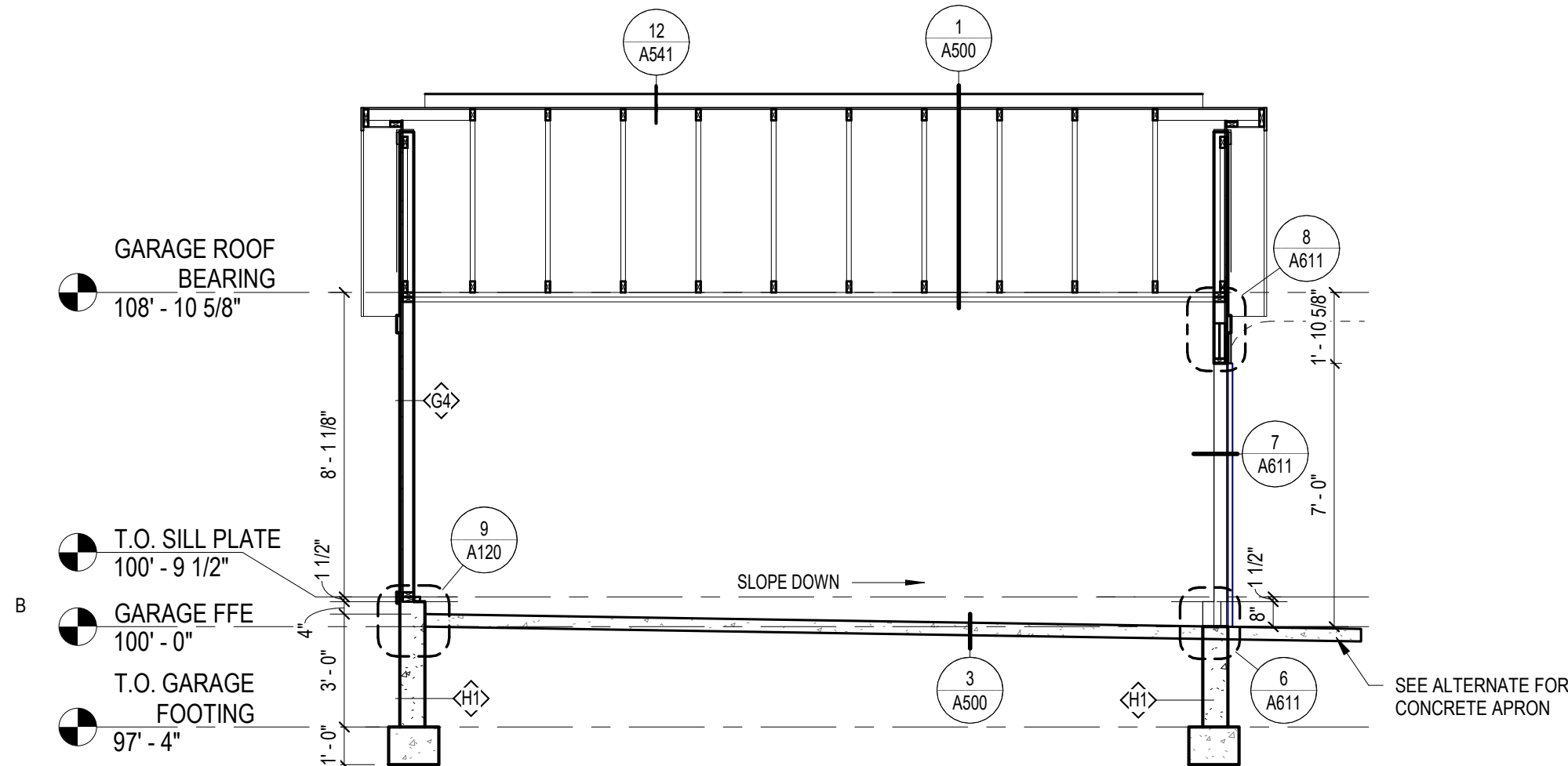
7 GARAGE EAVE
A120 1 1/2" = 1'-0"



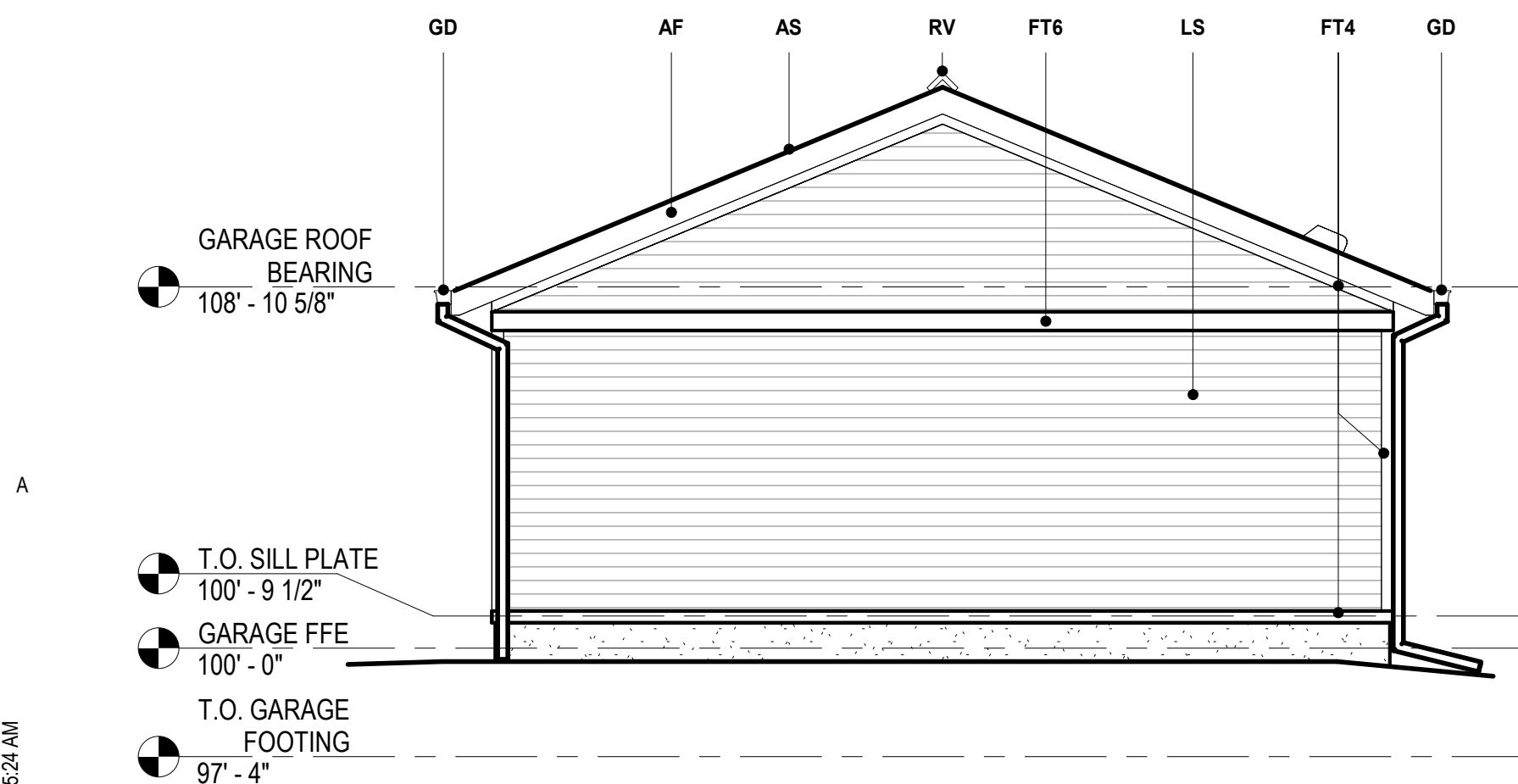
ELEVATION KEY

- AF ALUMINUM FASCIA & SOFFIT
AS ASPHALT SHINGLES
BB BOARD AND BATTEN TEXTURED VINYL SIDING
BE BOXED EAVE
BV BOX VENT
CF CONCRETE FOUNDATION WALL
CRI CONCRETE SURFACED RIGID INSULATION PANEL
EC 6X6 ENGINEERED COLUMN, W/ CEDAR BASE AND CAPITAL TRIM, PTD.
EM ELECTRIC METER
GD GUTTERS & DOWNSPOUTS
GM GAS METER
KF KICKOUT FLASHING - SHOP FABRICATED W/ WATERPROOFING SEAMS
LV LOUVER(S), SEE
LS 4" EXPOSURE LAP SIDING
OH OVERHEAD GARAGE DOOR
FT4 1" x 3 1/2" FIBER TRIM
FT6 1" x 5 1/2" FIBER TRIM
FT8 1" x 8" FIBER TRIM, CUT TO SIZE
FT10 1" x 10" FIBER TRIM, CUT TO SIZE
RV RIDGE VENT (SEE ROOF PLANS)
SD PTD. STEEL ENTRY DOOR
VW VINYL SINGLE HUNG WINDOW

10 PERSON GARAGE DOOR SILL
A120 3" = 1'-0"

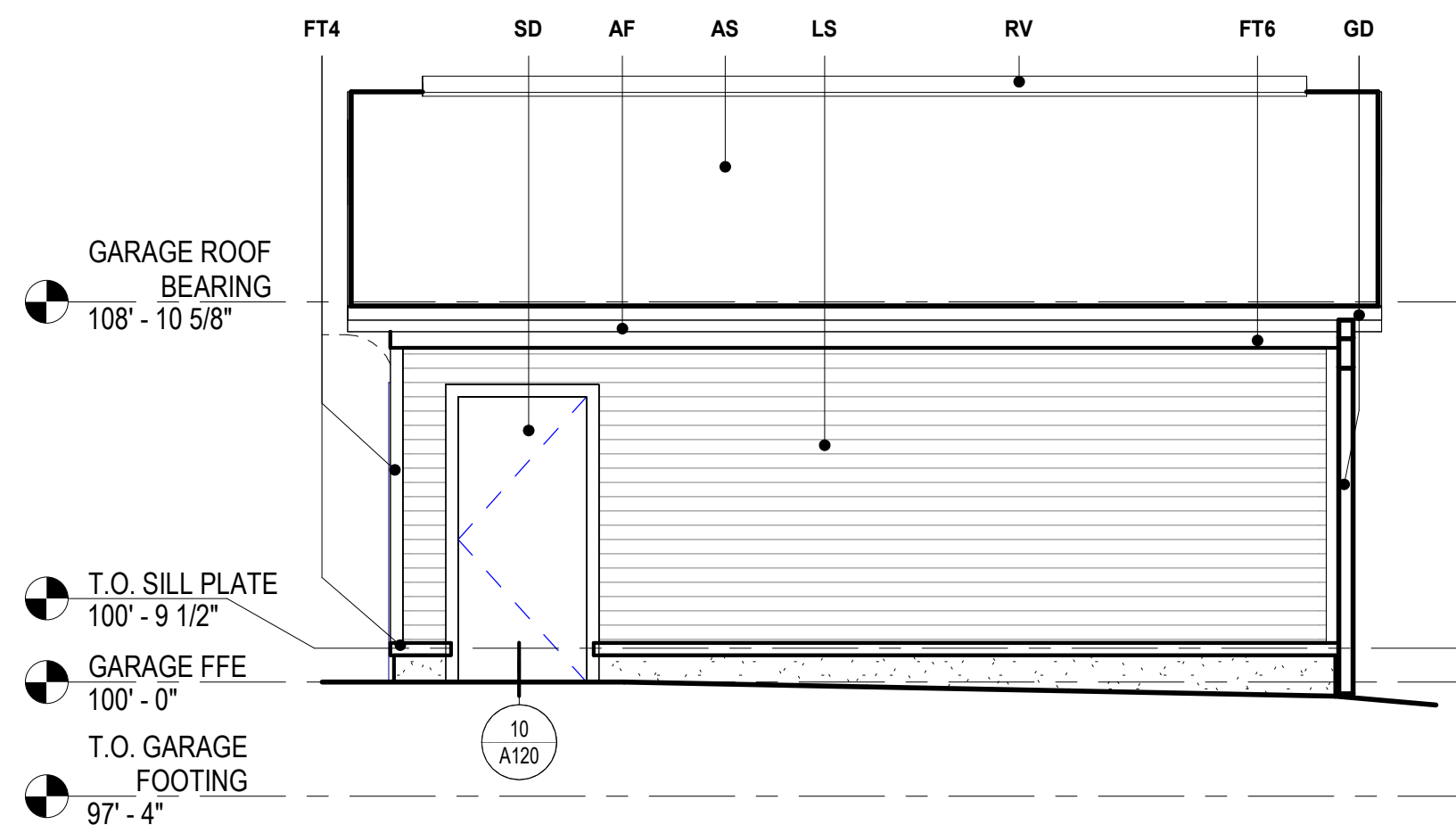


6 GARAGE SECTION
A120 1/4" = 1'-0"

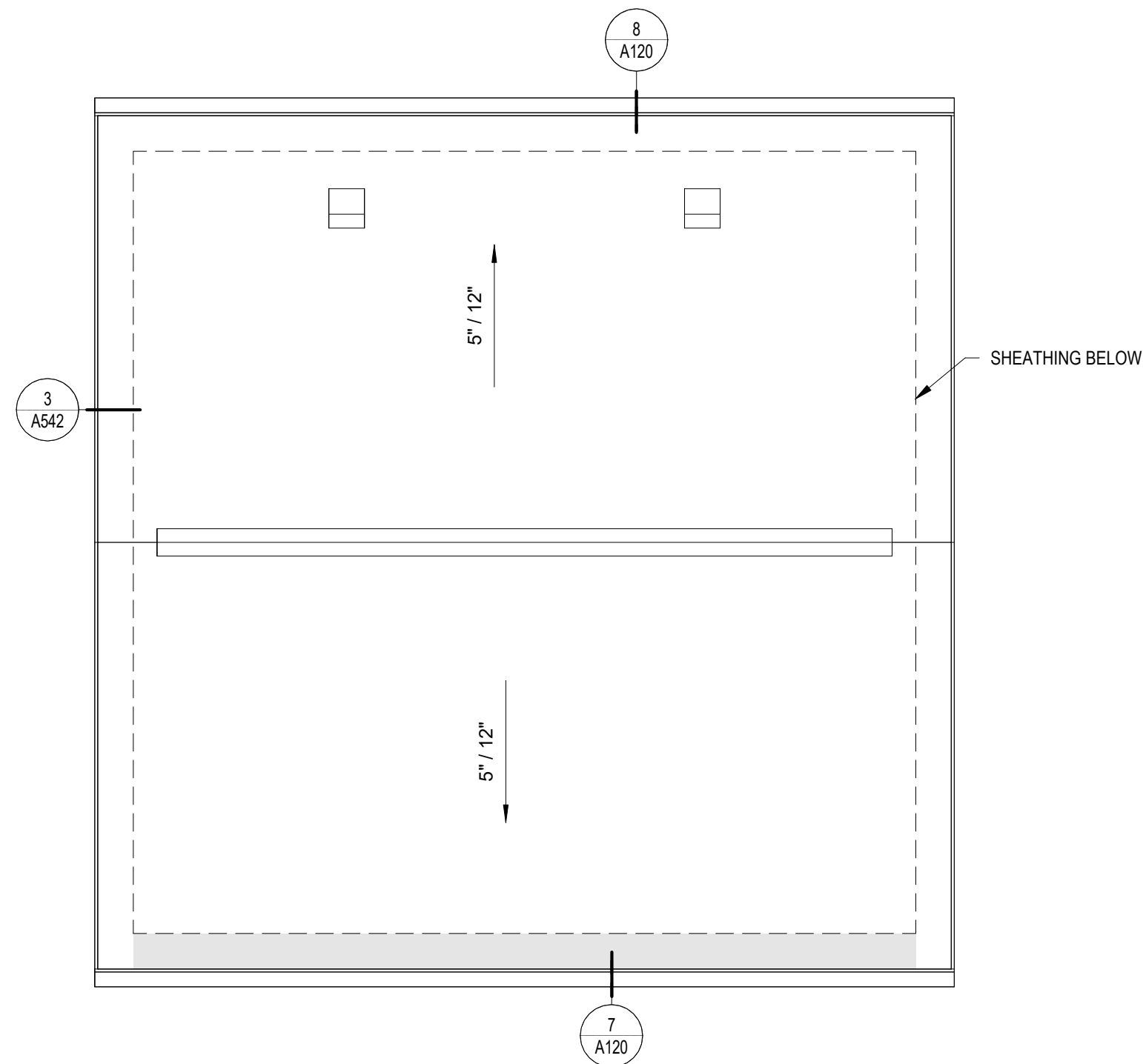


3 GARAGE BACK
A120 1/4" = 1'-0"

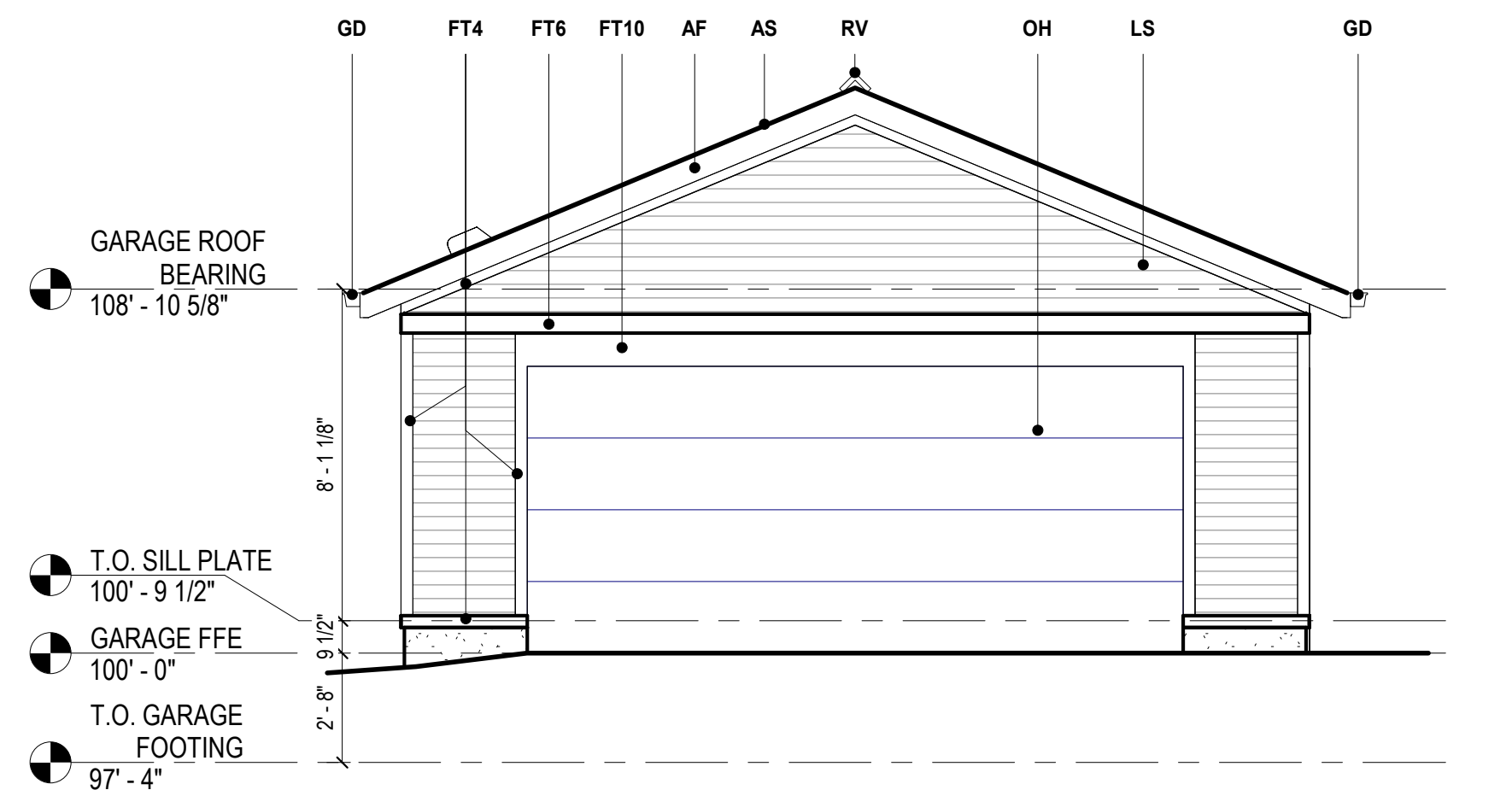
5 GARAGE ROOF
A120 1/4" = 1'-0"



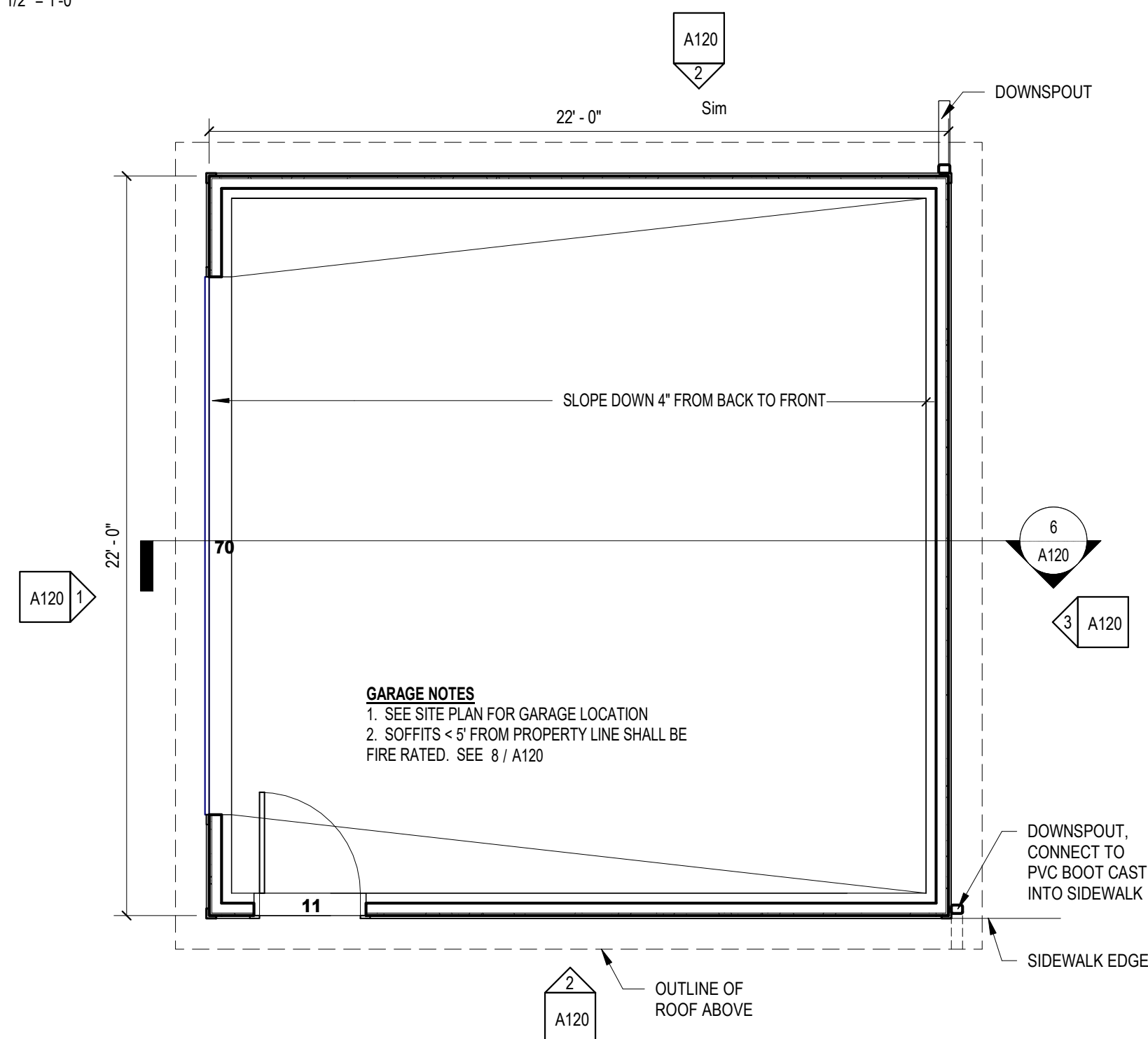
2 GARAGE SIDE TYP.
A120 1/4" = 1'-0"



4 GARAGE PLAN
A120 1/4" = 1'-0"



1 GARAGE FRONT
A120 1/4" = 1'-0"



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

10/22/24 CONSTRUCTION DOCUMENTS
NO DATE ISSUED FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andy Madson*

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:
FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:
GARAGE PLAN,
ELEVATIONS, AND
DETAILS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 240559
DRAWING NO:

A120

Autodesk Docs\240559 413 Franklin Ave\240559 413 Franklin Ave A201.rvt
10/22/2024 11:55:27 AM



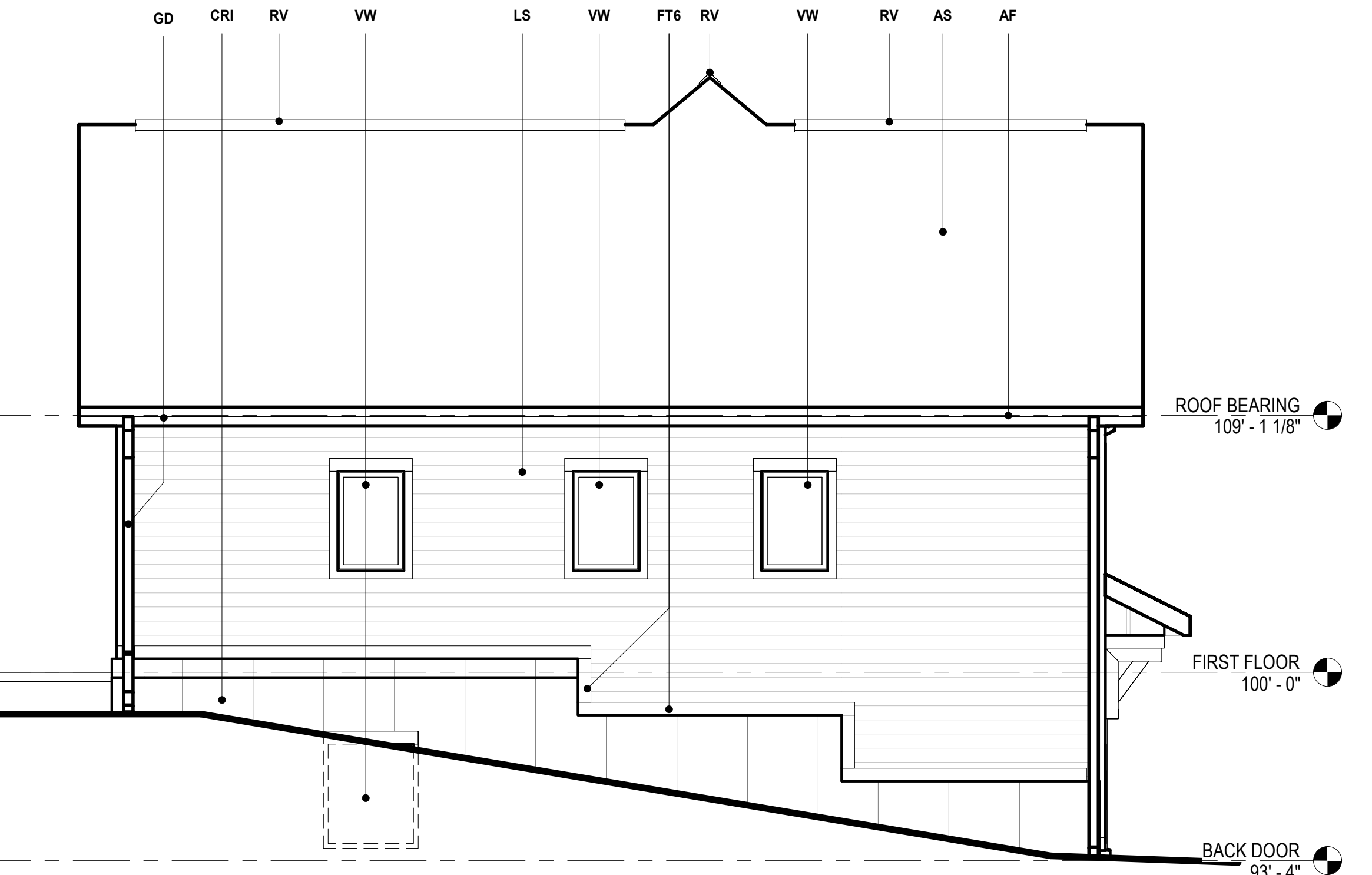
8 WEST ELEVATION
A201 1/4" = 1'-0"



7 SOUTH ELEVATION
A201 1/4" = 1'-0"



6 EAST ELEVATION
A201 1/4" = 1'-0"



5 NORTH ELEVATION
A201 1/4" = 1'-0"

ELEVATION KEY

- AF ALUMINUM FASCIA & SOFFIT
- AS ASPHALT SHINGLES
- BB BOARD AND BATTEN TEXTURED VINYL SIDING
- BE BOXED EAVE
- BV BOX VENT
- CF CONCRETE FOUNDATION WALL
- CRI CONCRETE SURFACED RIGID INSULATION PANEL
- EC 6X6 ENGINEERED COLUMN, W/ CEDAR BASE AND CAPITAL TRIM, PTD.
- EM ELECTRIC METER
- GD GUTTERS & DOWNSPOUTS
- GM GAS METER
- KF KICKOUT FLASHING - SHOP FABRICATED W/ WATERPROOFING SEAMS
- LV LOUVER(S), SEE
- LS 4" EXPOSURE LAP SIDING
- OH OVERHEAD GARAGE DOOR
- FT4 1" x 3 1/2" FIBER TRIM
- FT6 1" x 5 1/2" FIBER TRIM
- FT8 1" x 8" FIBER TRIM, CUT TO SIZE
- FT10 1" x 10" FIBER TRIM, CUT TO SIZE
- RV RIDGE VENT (SEE ROOF PLANS)
- SD PTD. STEEL ENTRY DOOR
- VW VINYL SINGLE HUNG WINDOW

ROOF BEARING
109' - 1 1/8"

FIRST FLOOR
100' - 0"

BACK DOOR
93' - 4"

BASEMENT
90' - 6 1/8"

T.O. FOOTING
89' - 9 3/4"

ROOF BEARING
109' - 1 1/8"

FIRST FLOOR
100' - 0"

BACK DOOR
93' - 4"

BASEMENT
90' - 6 1/8"

T.O. FOOTING
89' - 9 3/4"



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CLIENT:

CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:

MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

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10/22/24 CONSTRUCTION DOCUMENTS
NO DATE ISSUED FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andy Madson*

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:

FRANKLIN AVE. HOUSE

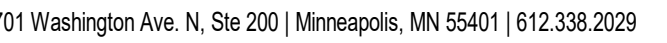
413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:

EXTERIOR
ELEVATIONS

DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO:

A201



CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
 105 5TH AVE. S. SUITE 100
 MINNEAPOLIS, MN 55401

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	10/22/24	CONSTRUCTION DOCUMENTS
NO	DATE	ISSUED FOR

NO	DATE	REVISION
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HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: James Brown

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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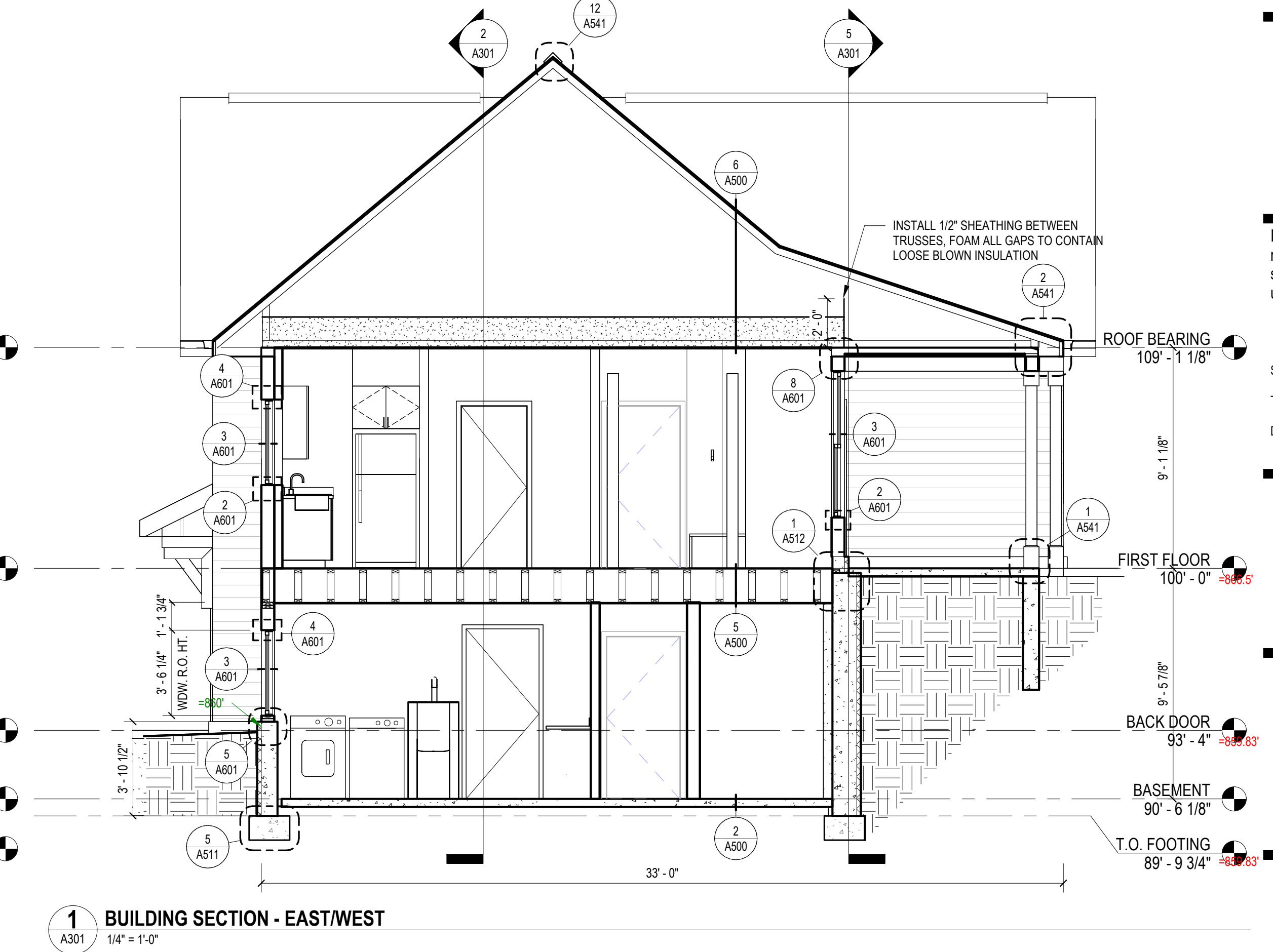
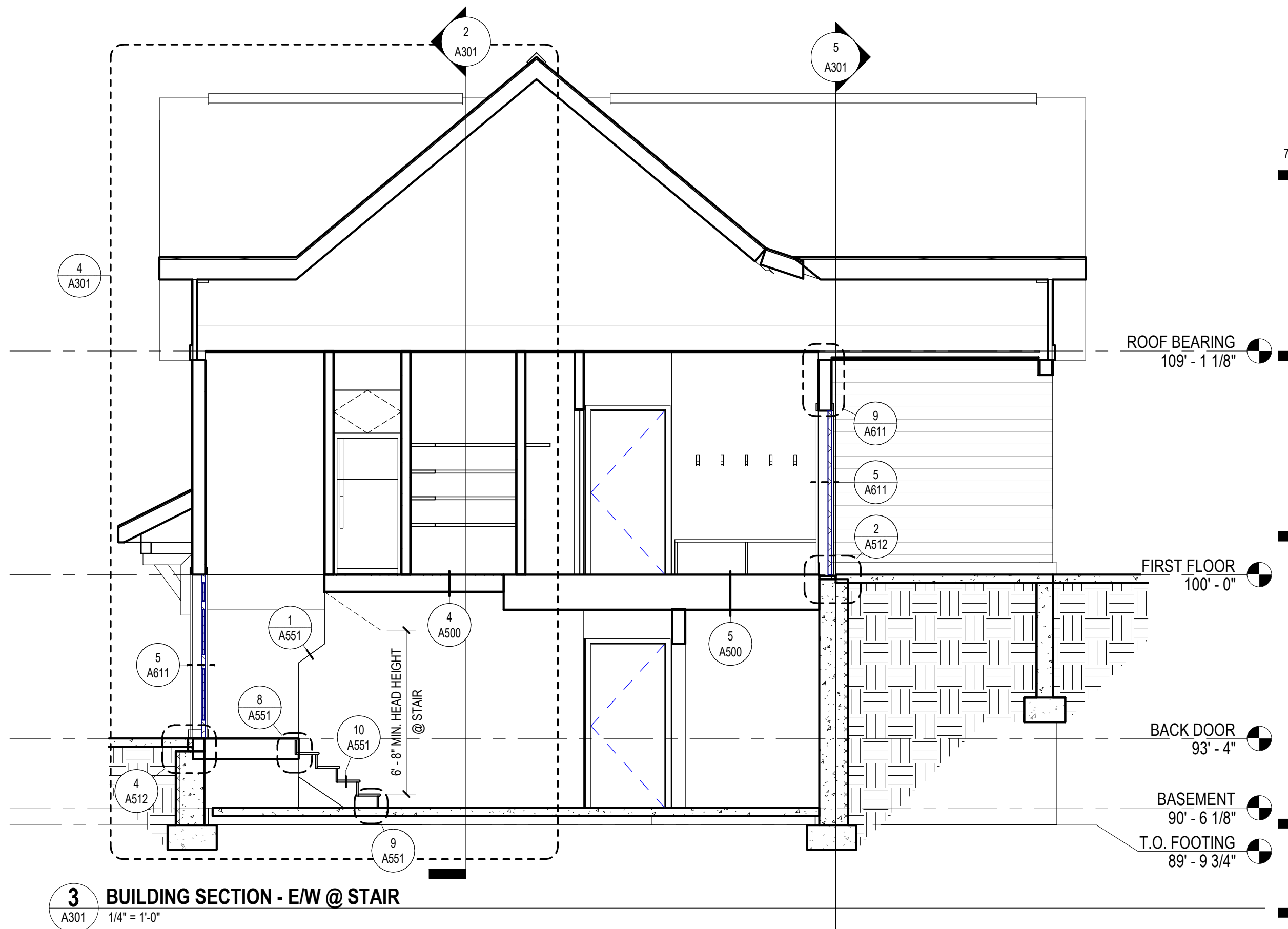
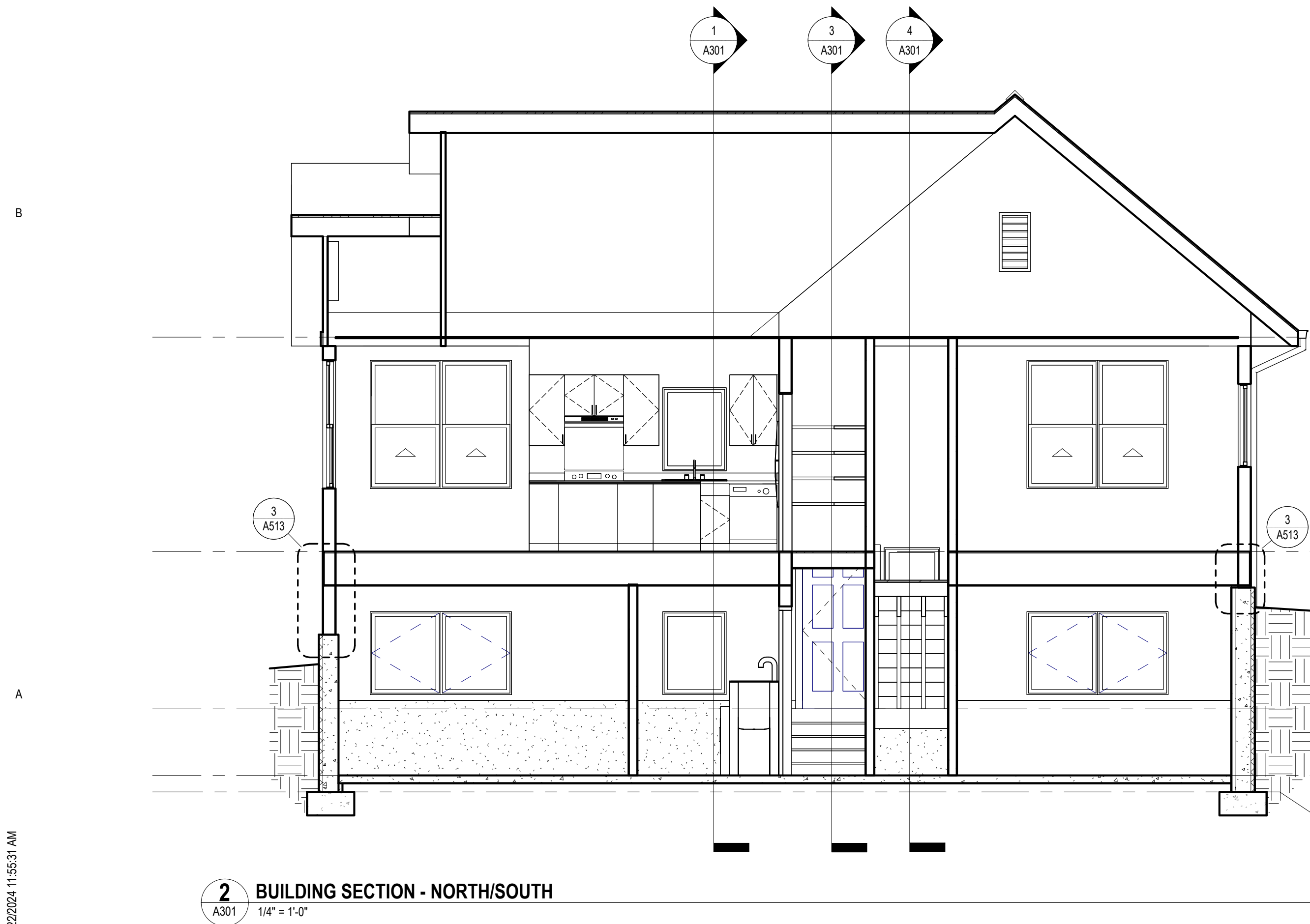
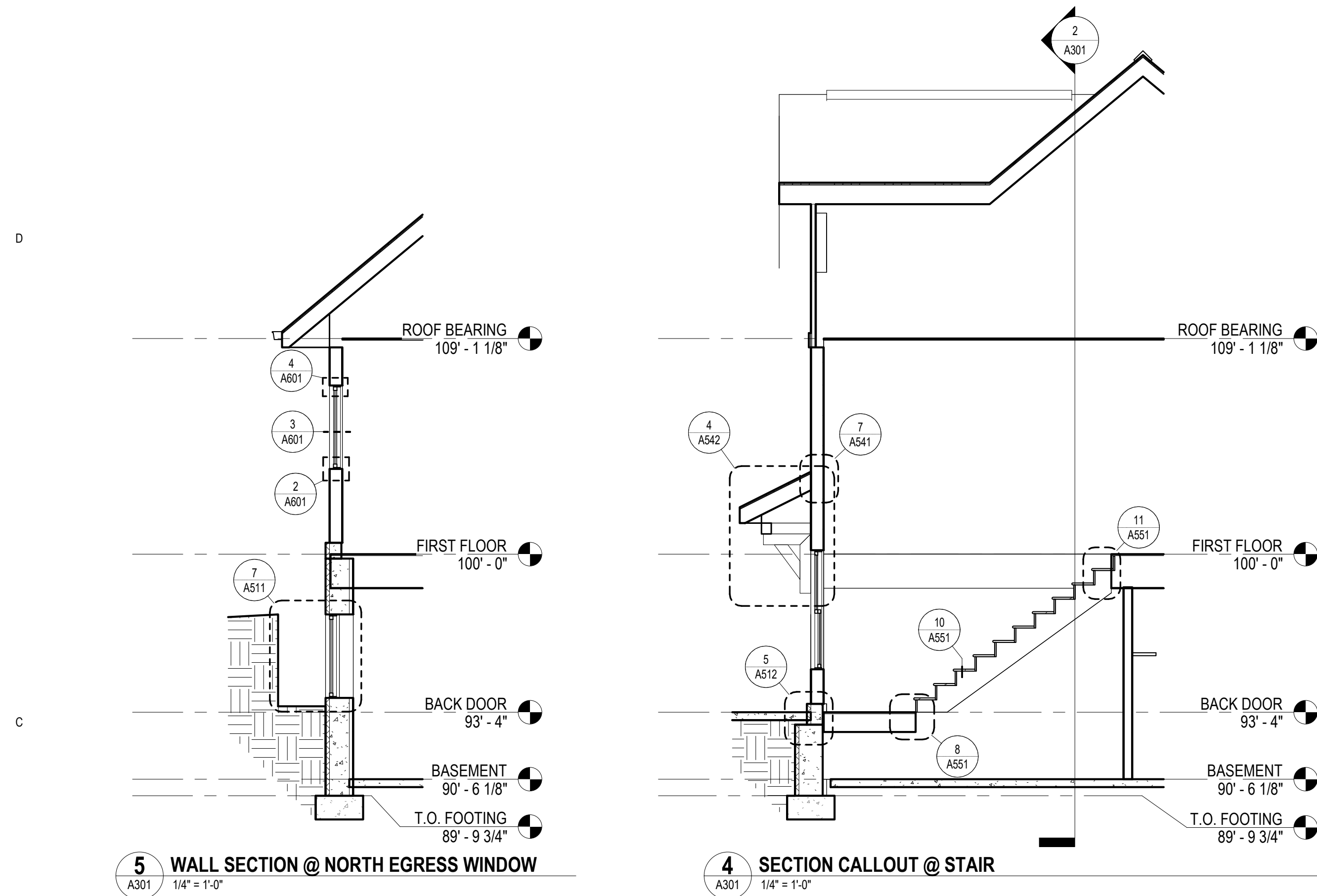
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FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:

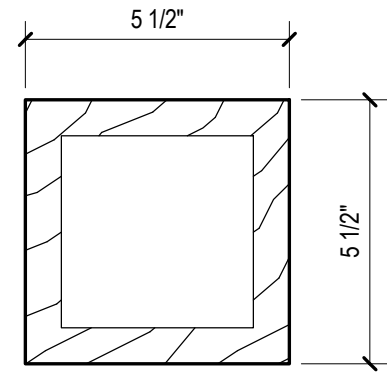
BUILDING SECTIONS

DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO: **A301**



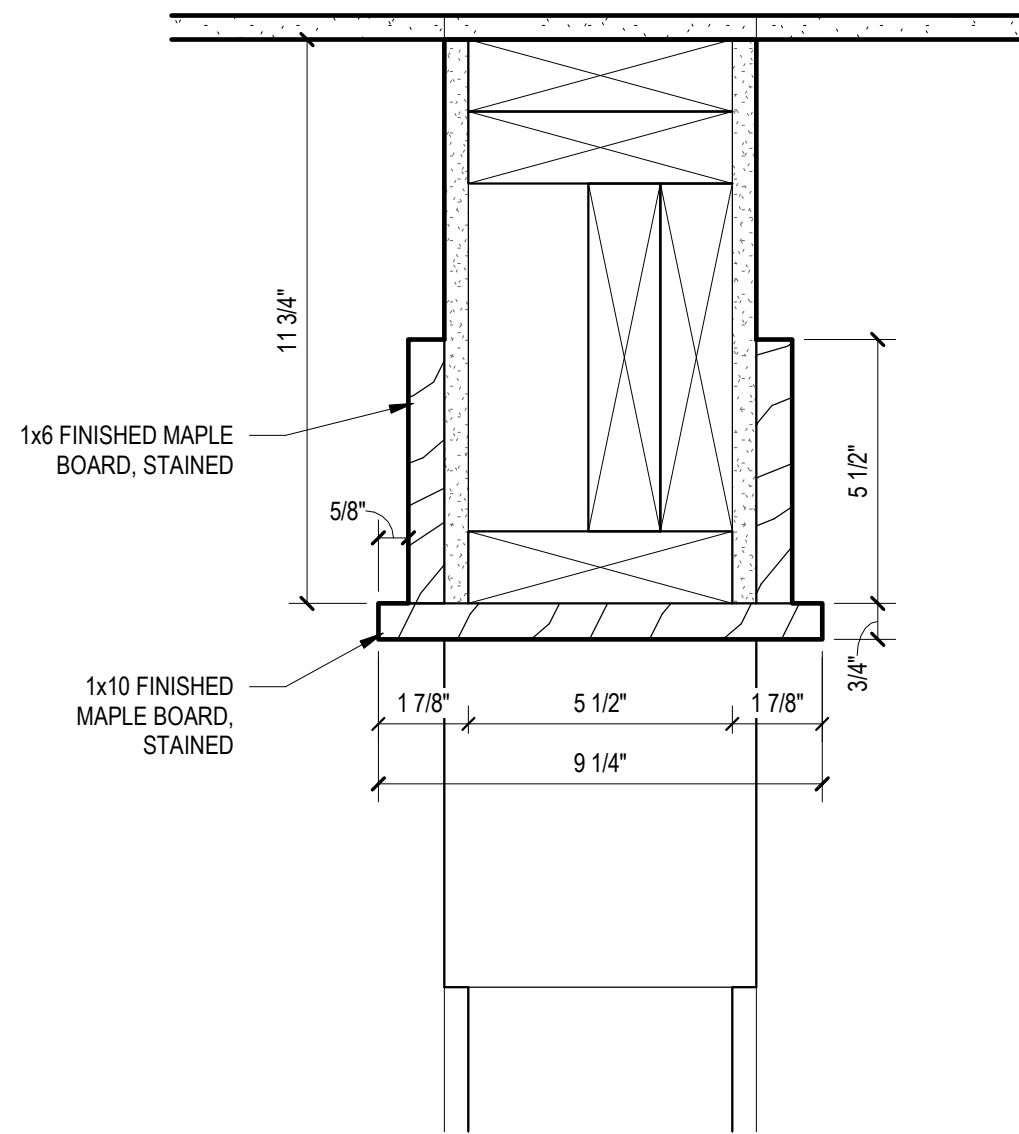
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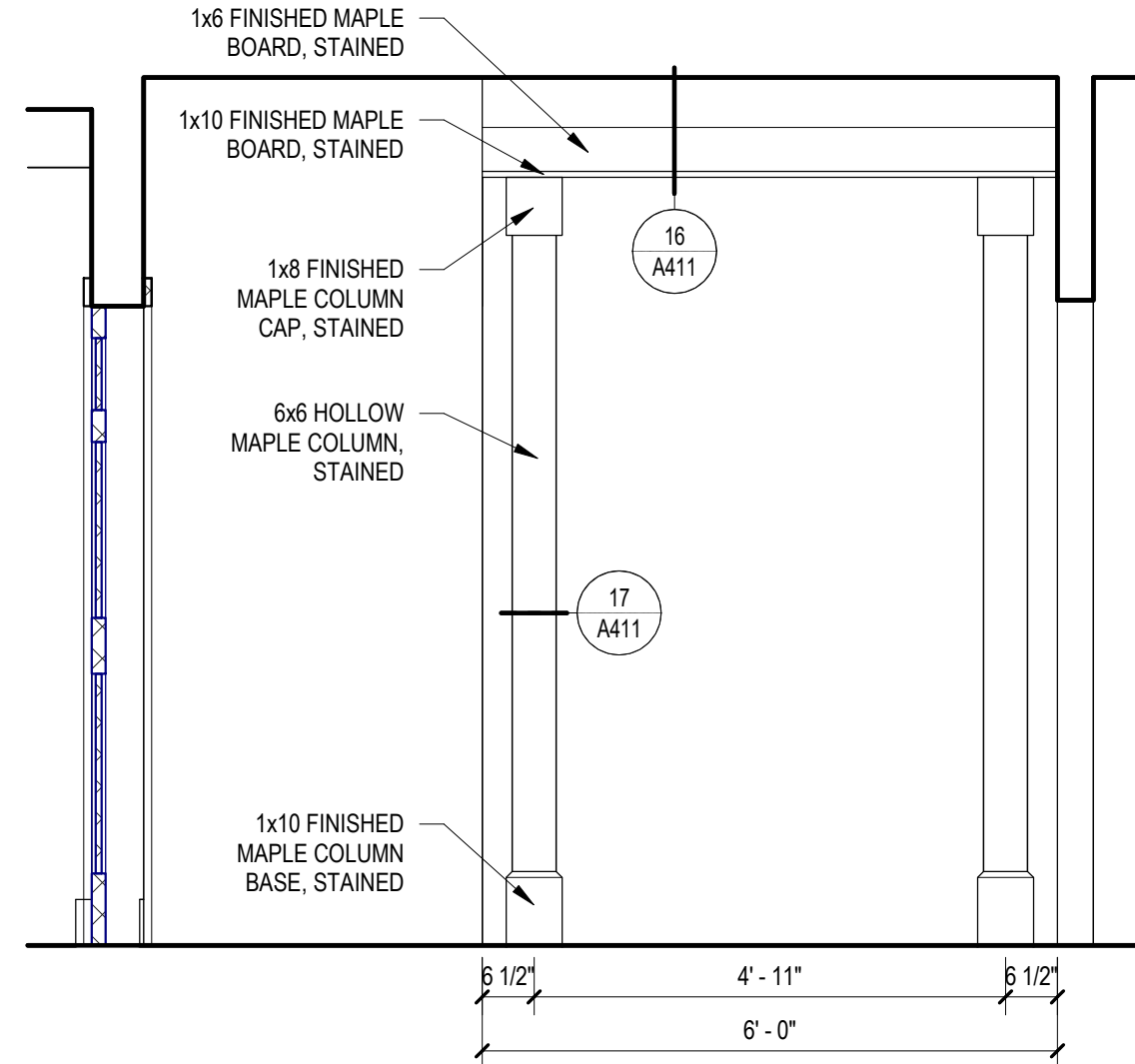
17 COLUMN SECTION
A411 3" = 1'-0"

C

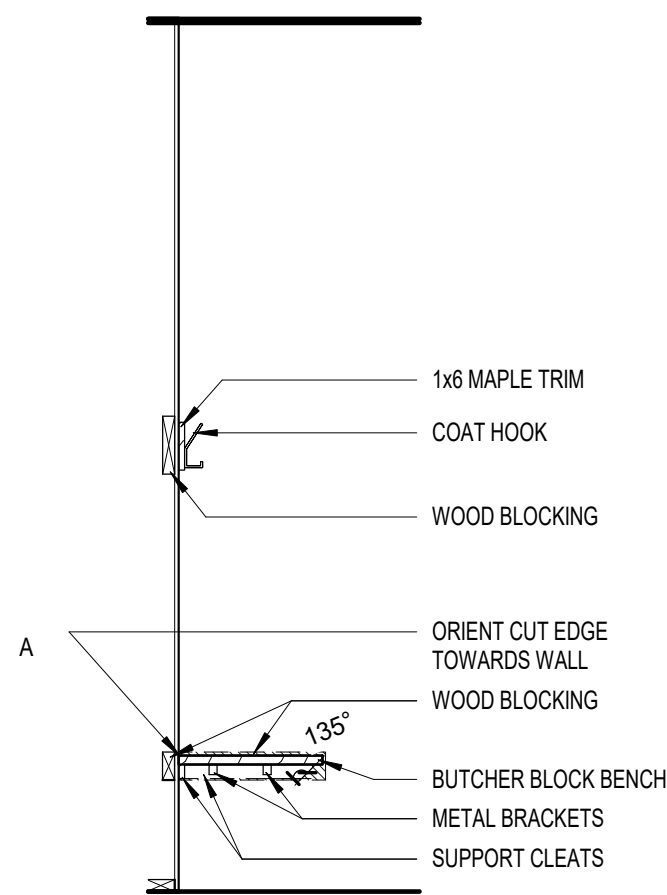


16 HEADER DETAIL
A411 3" = 1'-0"

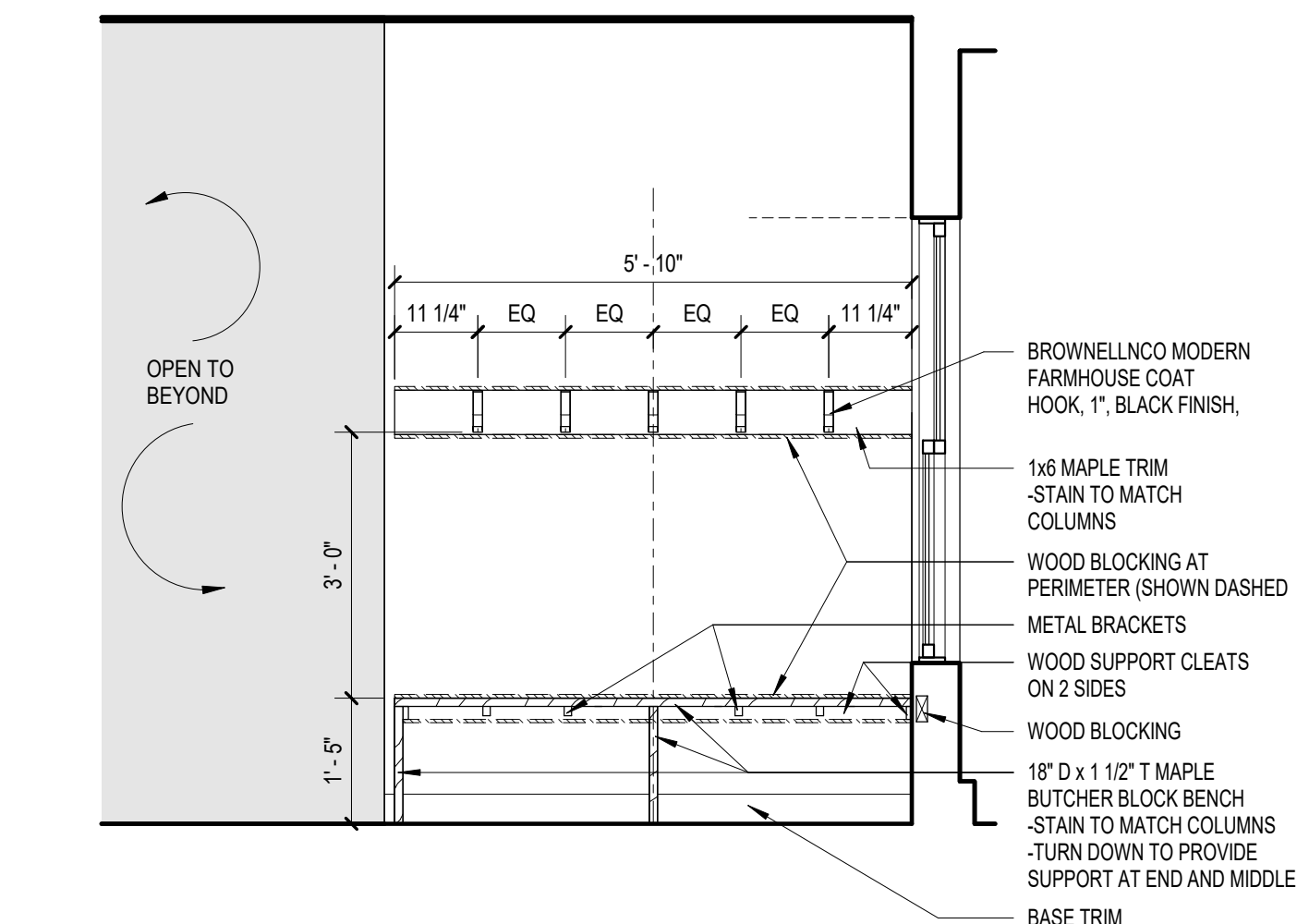
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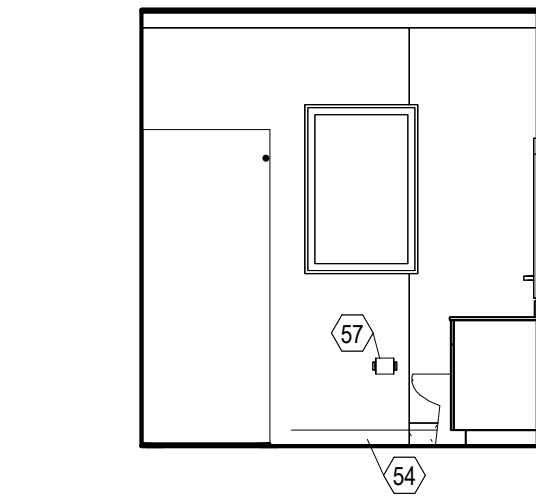
13 ENTRY COLUMN ELEVATION
A411 1/2" = 1'-0"



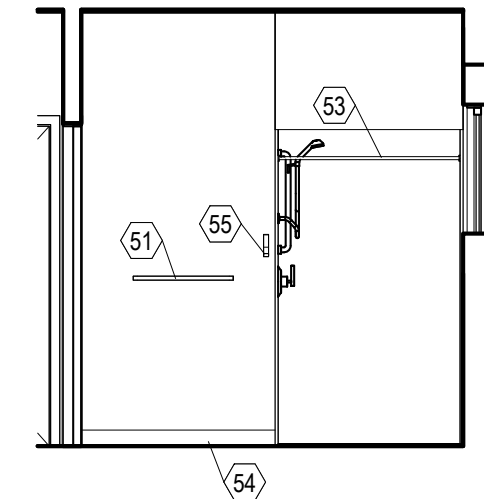
15 BENCH SECTION
A411 1/2" = 1'-0"



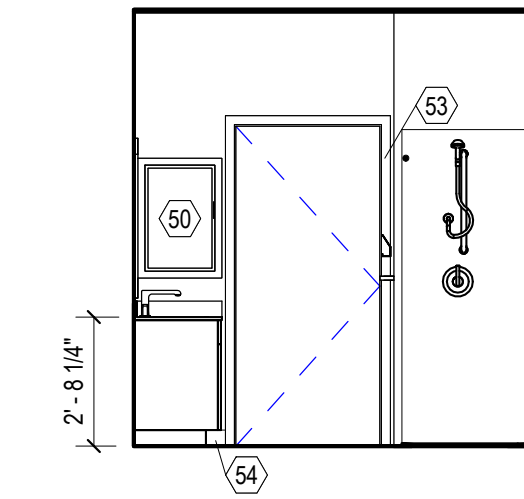
14 ENTRY BENCH AND HOOKS
A411 1/2" = 1'-0"



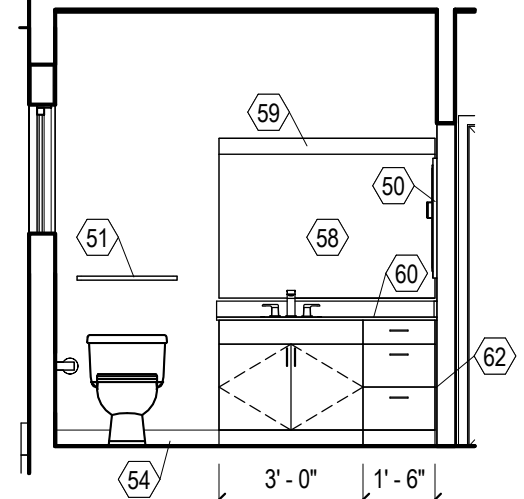
12 UPPER BATH ELEVATION - D
A411 1/4" = 1'-0"



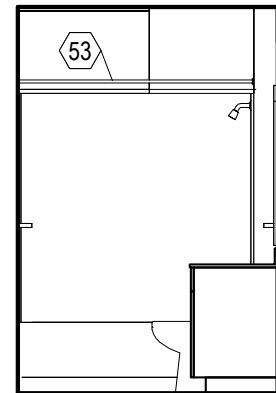
11 UPPER BATH ELEVATION - C
A411 1/4" = 1'-0"



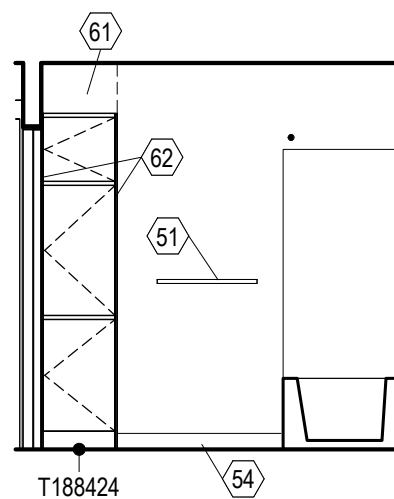
10 UPPER BATH ELEVATION - B
A411 1/4" = 1'-0"



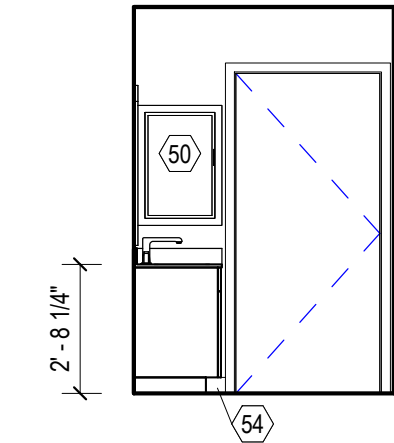
9 UPPER BATH ELEVATION - A
A411 1/4" = 1'-0"



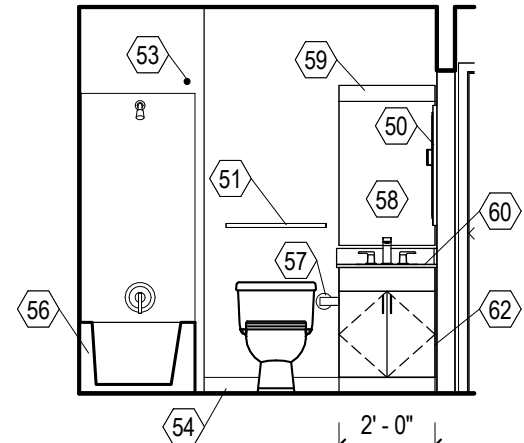
8 LOWER BATH ELEVATION - D
A411 1/4" = 1'-0"



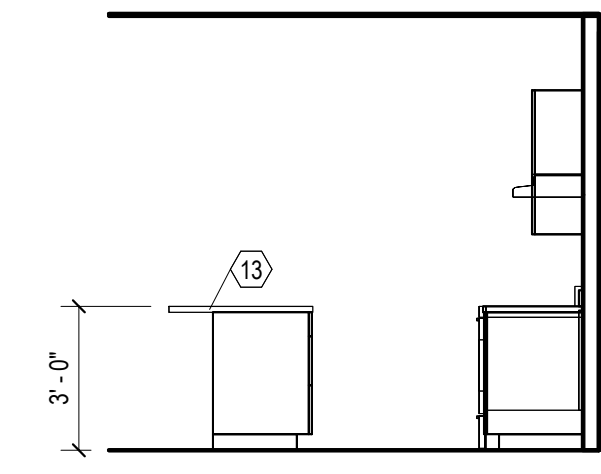
7 LOWER BATH ELEVATION - C
A411 1/4" = 1'-0"



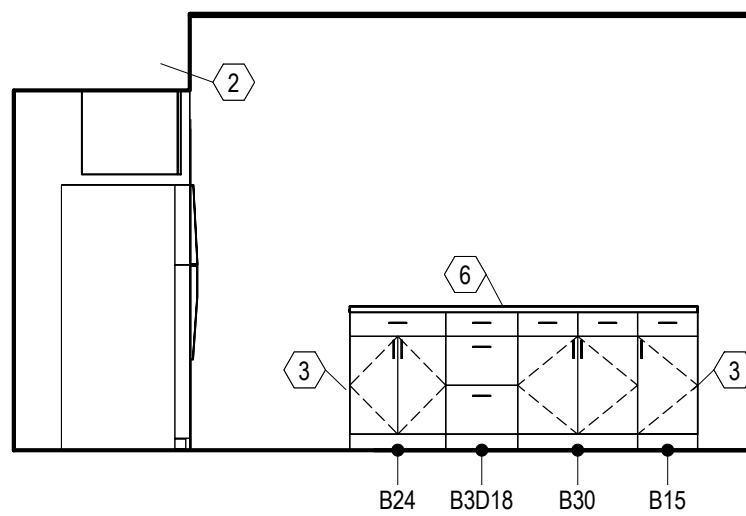
6 LOWER BATH ELEVATION - B
A411 1/4" = 1'-0"



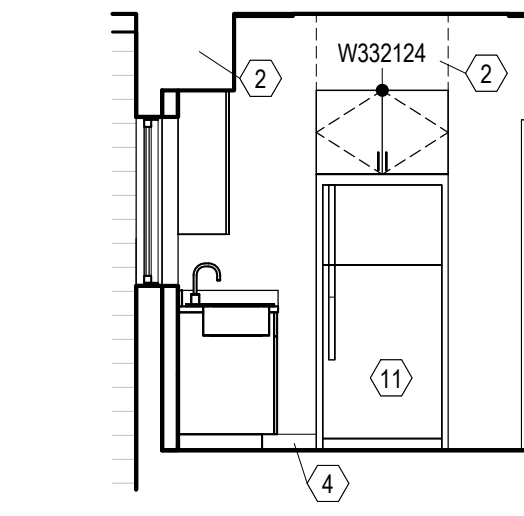
5 LOWER BATH ELEVATION - A
A411 1/4" = 1'-0"



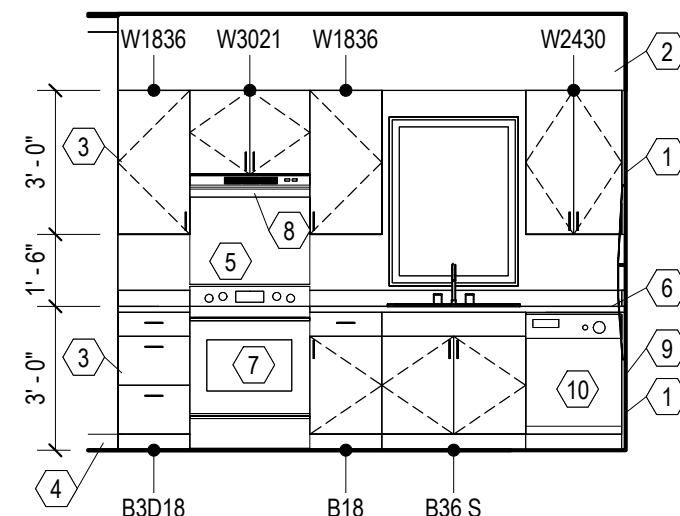
4 KITCHEN ELEVATION - D
A411 1/4" = 1'-0"



3 KITCHEN ELEVATION - C
A411 1/4" = 1'-0"



2 KITCHEN ELEVATION - B
A411 1/4" = 1'-0"

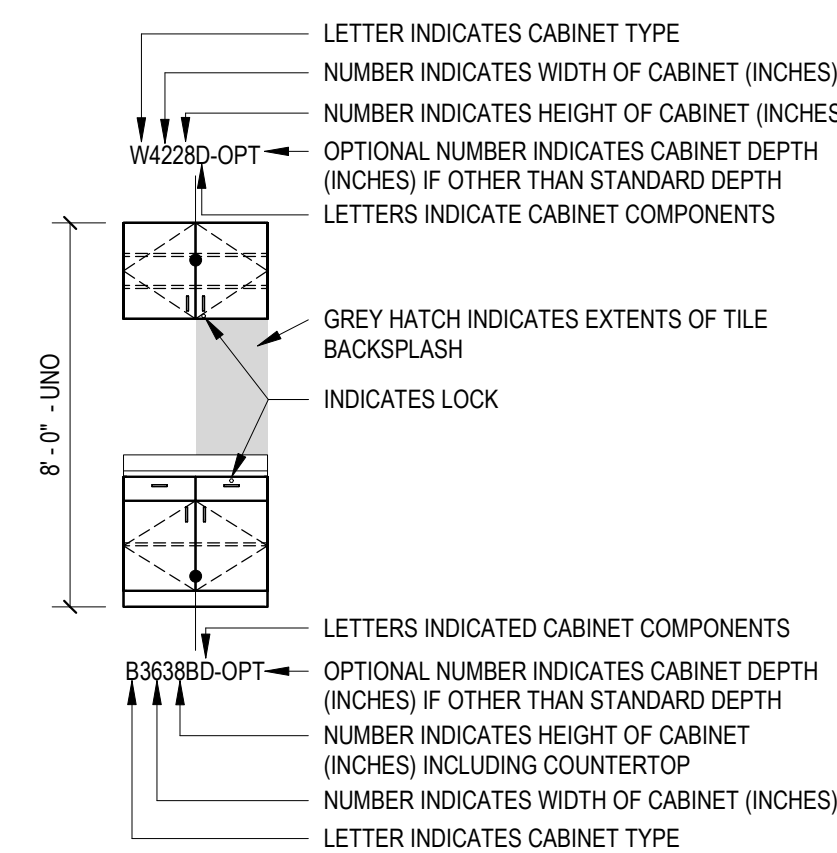


1 KITCHEN ELEVATION - A
A411 1/4" = 1'-0"

KITCHEN AND BATHROOM KEYNOTES:

- 1 FILLER TO FILL GAP
- 2 SOFFIT, OVERHANG CABINET FRONTS 2" TYP.
- 3 FINISHED END PANEL
- 4 BASE TRIM
- 5 GREASE SHIELD
- 6 P. LAM. COUNTER TYP. W/ END SPLASHES AGAINST ADJACENT WALLS
- 7 30" ELECTRIC RANGE
- 8 30" RANGE HOOD
- 9 SUPPORT END PANEL
- 10 24" DISHWASHER
- 11 18 CUB. FT. REFRIGERATOR
- 12 4" VALENCE
- 13 P. LAM. COUNTER TOP, OVERHANG 11". ENSURE COUNTER EDGE IS SUPPORTED WITH BLOCKING
- 50 RECESSED MEDICINE CABINET
- 51 24" TOWEL BAR, TO BE MOUNTED @ 42" A.F.F. UNLESS NOTED OTHERWISE
- 52 PVC BASE TRIM AND WAINSCOT
- 53 SHOWER ROD
- 54 WALL BASE - SEE FINISH SCHEDULE
- 55 ROBE HOOK
- 56 FIBERGLASS TUB AND SURROUND
- 57 TOILET PAPER HOLDER
- 58 MIRROR
- 59 VANITY LIGHT, CENTER ON VANITY TOP
- 60 CULTURED MARBLE TOP - EXTEND 5/8" BEYOND CASEWORK @ OPEN SIDE, & 4" BACK SPLASH WITH SIDE SPLASHES @ CORNER AND LINEN CLOSET LOCATIONS, TYP.
- 61 SOFFIT, ALIGN WITH ADJACENT WALL
- 62 1/2" FILLER

CASEWORK LEGEND



TYPICAL CABINET TYPE NOMENCLATURE

W=WALL HUNG CABINET
B=BASE CABINET
F=FULL HEIGHT CABINET
V=VANITY CABINET

TYPICAL CABINET COMPONENT NOMENCLATURE

B=BOX DRAWER
C=CART
D=DOOR PANEL
F=FALSE DRAWER FRONT
H=HOOD
L=LIGHT VALENCE
M=MAIL SLOTS
O=BLIND CORNER
R=SLIDING DOORS
S=PAPER SLOT
T=TRASH OPENING
V=VENTED
W=MICROWAVE
X=COUNTERTOP WORKSURFACE
Z=LAZY SUSAN



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CLIENT:

CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:

MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

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10/22/24 CONSTRUCTION DOCUMENTS
NO DATE ISSUED FOR

NO DATE REVISION

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Signature: *Andy Madson*

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:

FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:

INTERIOR
ELEVATIONS

DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO:

A411

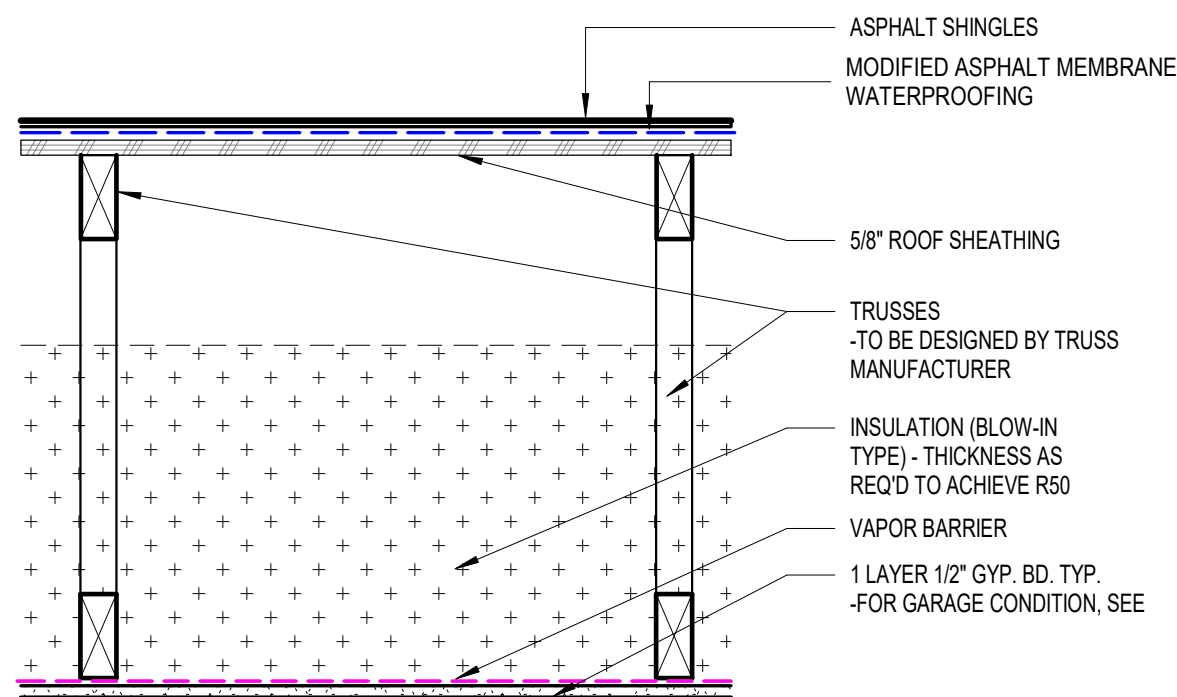
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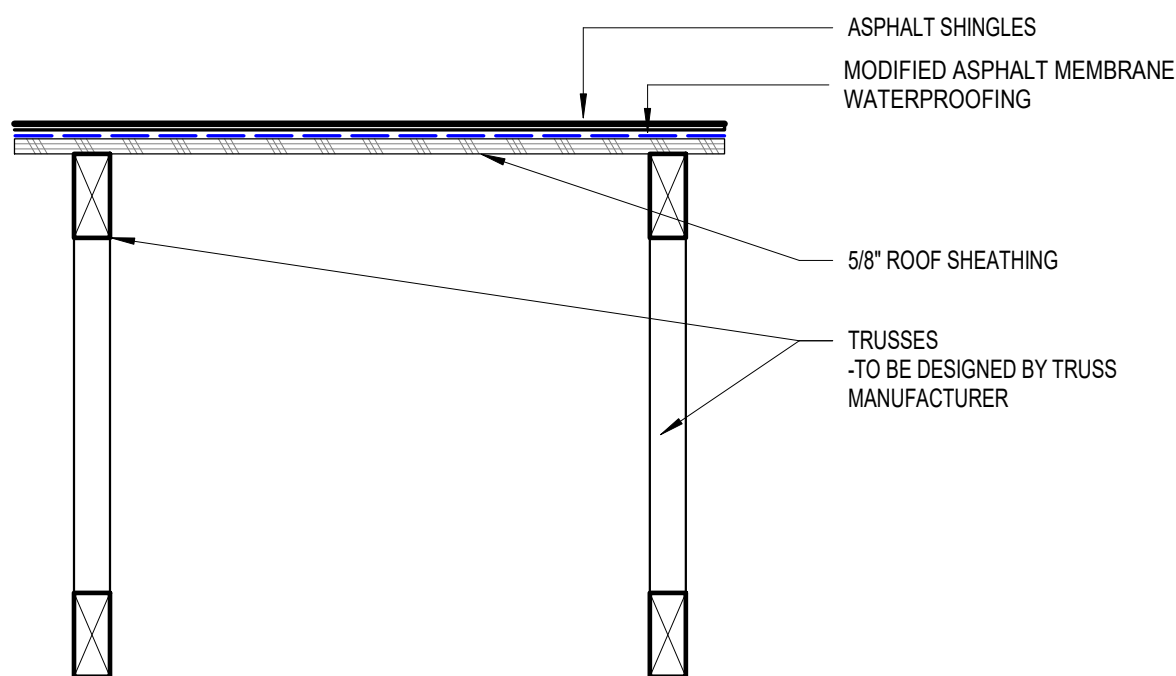
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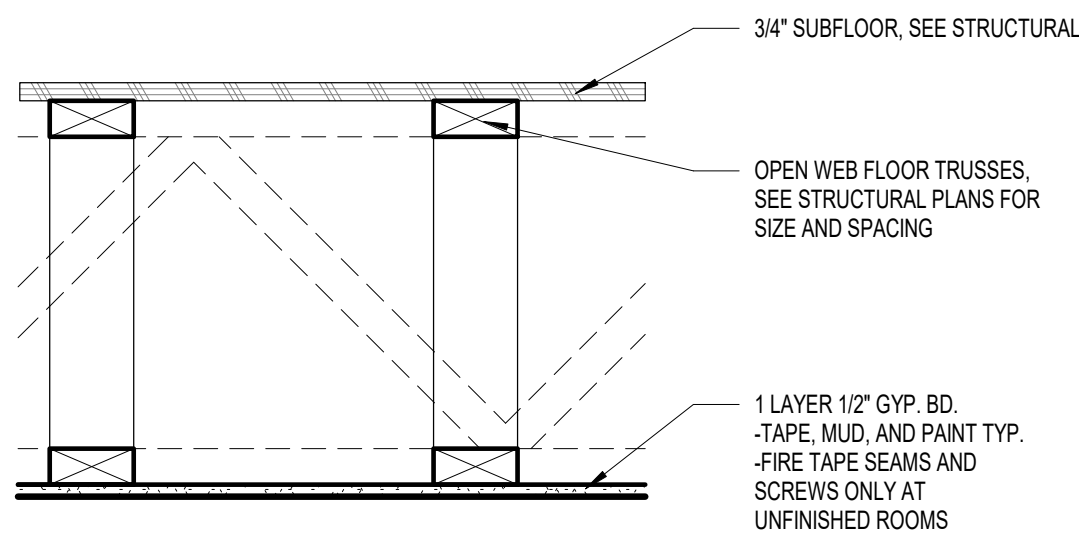
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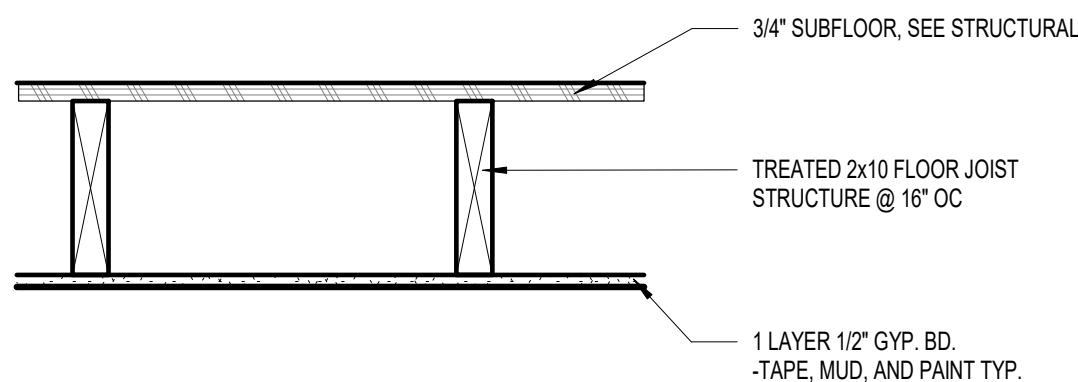
6 TYP. SHINGLE ROOF ASSEMBLY OVER UNITS
A500 1 1/2" = 1'-0"



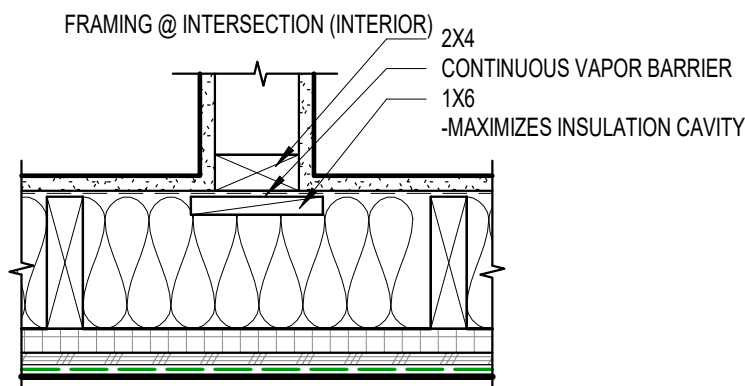
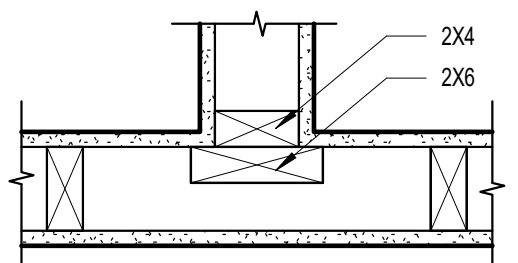
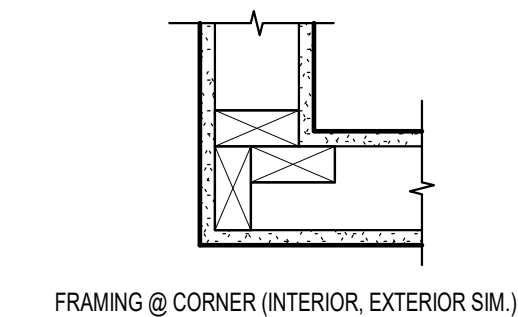
1 TYP. SHINGLE ROOF ASSEMBLY OVER GARAGE
A500 1 1/2" = 1'-0"



5 FLOOR - CEILING ASSEMBLY @ FLOOR - FLOOR
A500 1 1/2" = 1'-0"

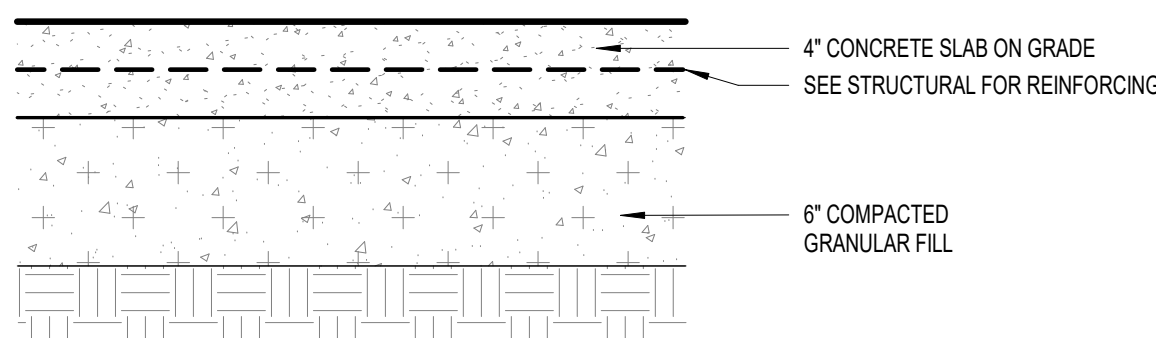


4 FLOOR - CEILING ASSEMBLY @ JOIST
A500 1 1/2" = 1'-0"

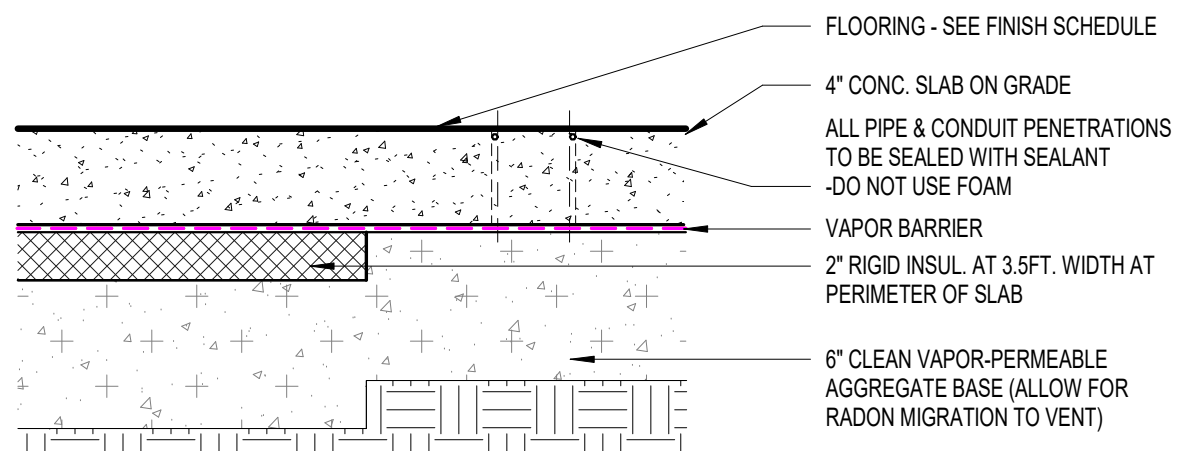


DETAILS ONLY APPLY TO NON-FIRE & SOUND RATED WALLS

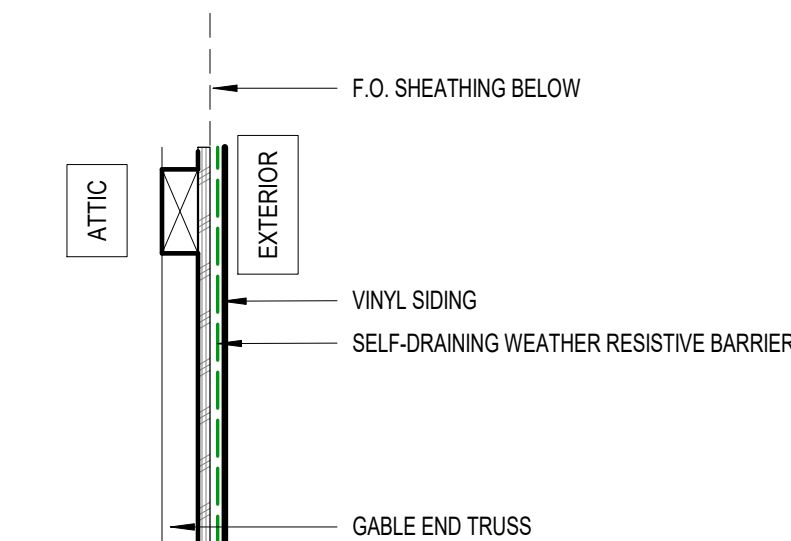
7 FRAMING DETAILS - WOOD
A500 1 1/2" = 1'-0"



3 SLAB ON GRADE ASSEMBLY - GARAGE
A500 1 1/2" = 1'-0"

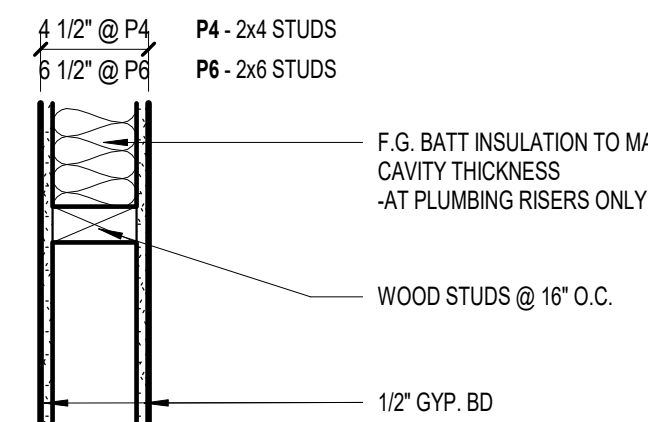


2 SLAB ON GRADE ASSEMBLY
A500 1 1/2" = 1'-0"



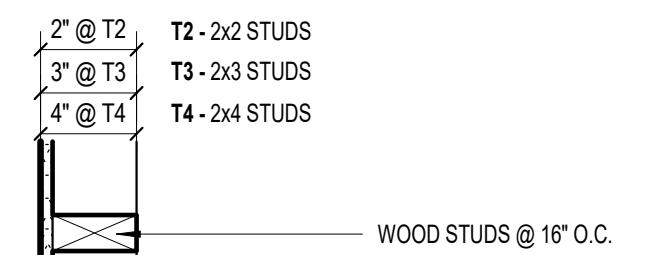
RATING	REFERENCE ASSEMBLIES	STC	IIC
G			

GABLE END TRUSS @ SIDING
1 1/2" = 1'-0"



RATING	REFERENCE ASSEMBLIES	STC	IIC
THRU P4 P6			

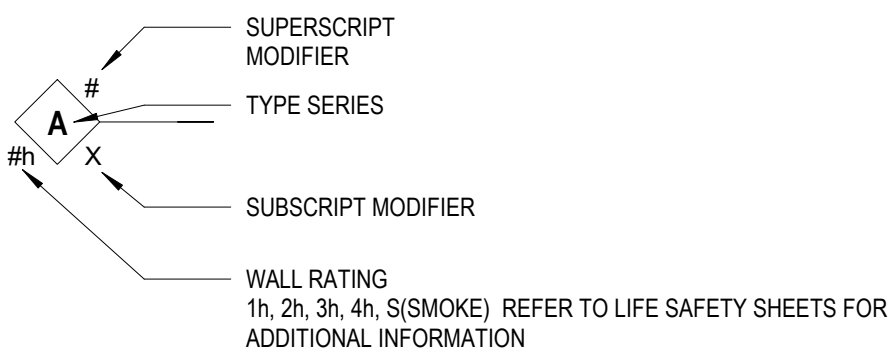
INTERIOR PARTITION WALL
1 1/2" = 1'-0"



RATING	REFERENCE ASSEMBLIES	STC	IIC
THRU T2 T4			

FURRED STUD WALL
1 1/2" = 1'-0"

INTERIOR WALL TAG KEY:



PARTITION SUBSCRIPT KEY:

A - ACOUSTICALLY RATED - FILL WITH ACOUSTIC INSULATION
- NOTE: ALL PLUMBING AND BATHROOM WALLS SHALL BE INSULATED REGARDLESS OF SUBSCRIPT IDENTIFIER
G - GROUT FILL

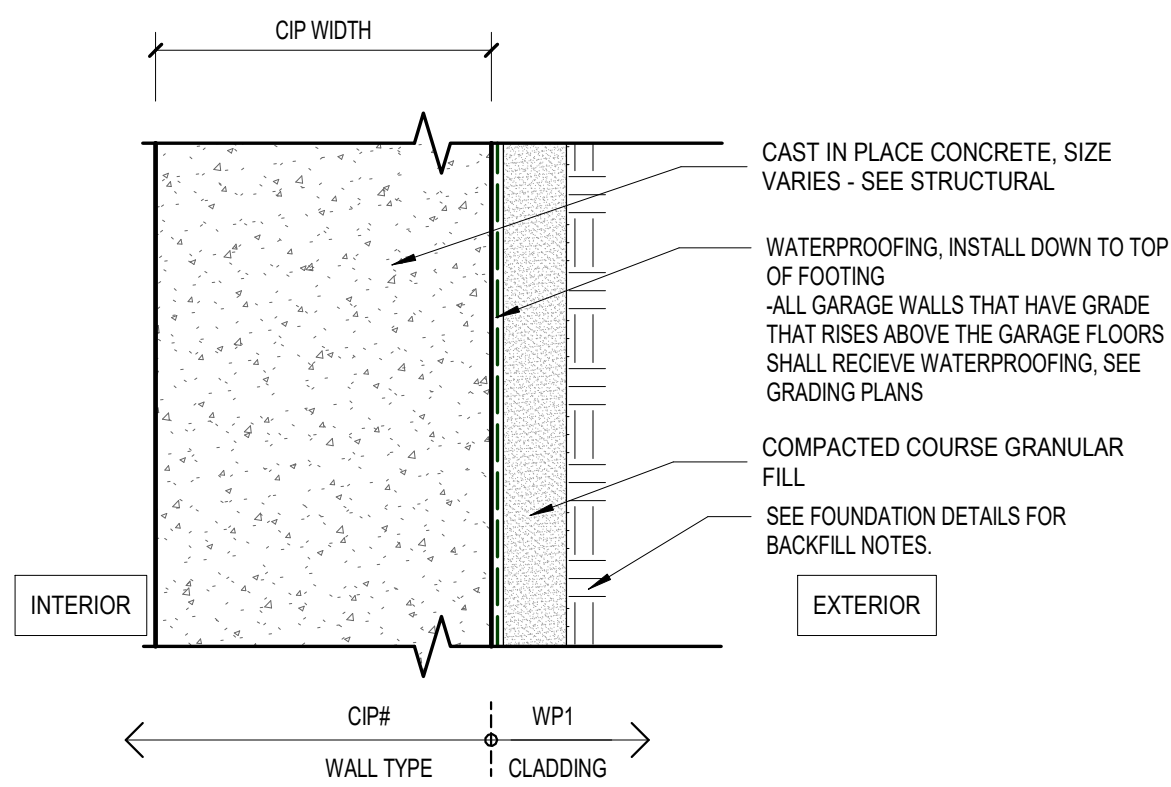
P - WOOD PANELLING OVER GYP BOARD ON TAG SIDE

42" - NUMBER INDICATES TOP OF WALL ABOVE FINISHED FLOOR

NO SUBSCRIPT - EXTEND ENTIRE PARTITION TO STRUCTURE ABOVE - NO ACOUSTICAL INSULATION

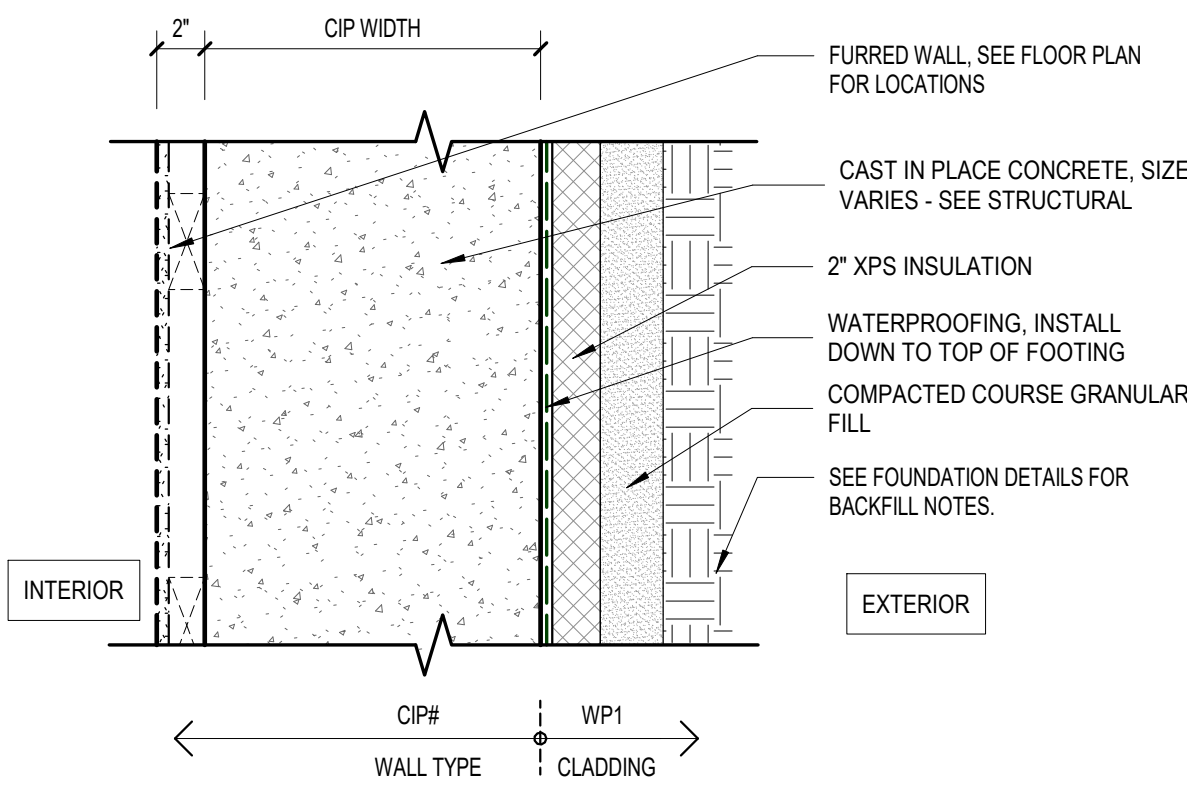
PARTITION SUPERScript NOTES:

- ADD LAYER(S) OF GYP TO ALIGN WALL FINISH WITH ADJACENT WALL
- ADHERE ONE LAYER 5/8" GYP BOARD TO TAG SIDE



FIRE RATING	REFERENCE ASSEMBLIES	NOTES
0 HR	NA	

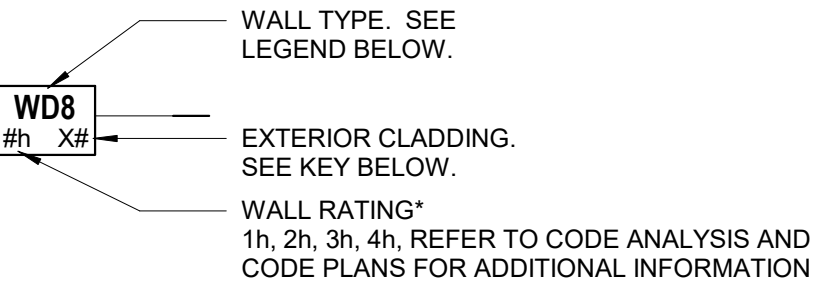
FND# CAST-IN-PLACE CONCRETE - BELOW GRADE
1 1/2" = 1'-0"



FIRE RATING	REFERENCE ASSEMBLIES	NOTES
0 HR	NA	
1 HR	UL U906	
2 HR	UL U906	
3 HR	UL U907	

CIP# CAST-IN-PLACE CONCRETE - BELOW GRADE
1 1/2" = 1'-0"

EXTERIOR WALL TAG KEY:



* EXTERIOR WALLS ON THIS SPECIFIC PROJECT ARE ONLY REQUIRED TO BE FIRE RATED IF BEARING WALLS (MNBC TABLE 601) AND ONLY FIRE RATED FROM THE INSIDE (MNBC 705.5). THE 5/8" TYPE 'X' GYPSUM BOARD AT THE INTERIOR TOGETHER WITH THE STUD SPACING OF 16" SATISFIES THIS REQUIREMENT PER MNBC TABLES 722.6.2(1) AND 722.6.2(2). SEE AREA NEAR ELEVATOR ON CODE PLANS FOR EXCEPTION

EXTERIOR CLADDING LEGEND:

CMU - 4" BURNISHED CMU VENEER
FS - FIBER SUBSTRATE SIDING
WP# - FOUNDATION WATERPROOFING

MATERIAL
COLOR/
STYLE - SEE
ELEVATIONS

EXTERIOR WALL TYPE LEGEND:

WD - WOOD FRAMING

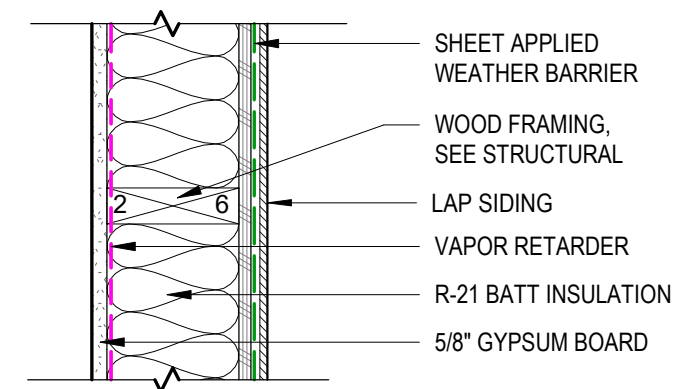
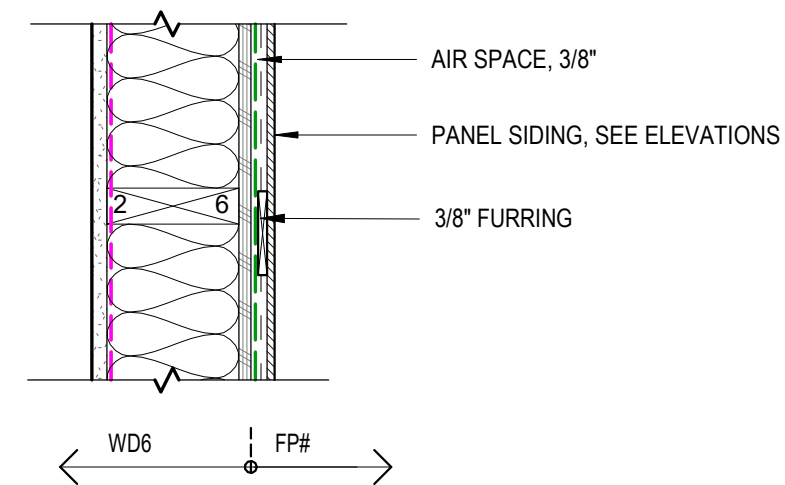
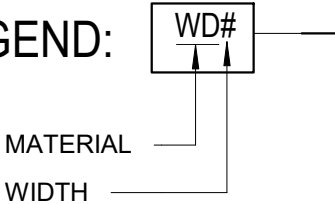
4 = 2X4 WOOD STUD
6 = 2X6 WOOD STUD
8 = 2X8 WOOD STUD
10 = 2X10 WOOD STUD

CIP - CAST IN PLACE CONCRETE

6 = 6" ACTUAL WIDTH
12 = 12" ACTUAL WIDTH
14 = 14" ACTUAL WIDTH

CMU - CONCRETE MASONRY UNIT

8 = 8" NOMINAL CMU
12 = 12" NOMINAL CMU



FIRE RATING	REFERENCE ASSEMBLIES	NOTES
INT.* EXT.**	NA	
1 HR	0 HR	

* FIRE RATING FROM THE INTERIOR

** FIRE RATING FROM THE EXTERIOR

WD6 WOOD STUD WITH INSULATED SHEATHING
1 1/2" = 1'-0"



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105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

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I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andy Madson*
Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:

FRANKLIN AVE. HOUSE

**413 FRANKLIN AVE. NW
WATERTOWN, MN**

DRAWING TITLE:

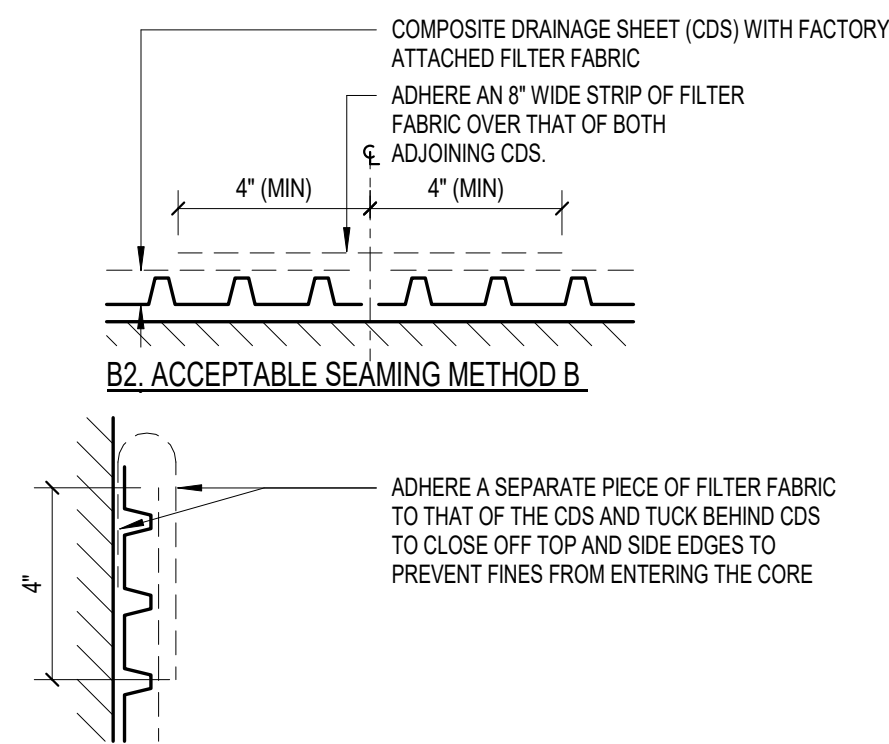
**CONSTRUCTION
ASSEMBLIES**

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 240559
DRAWING NO:

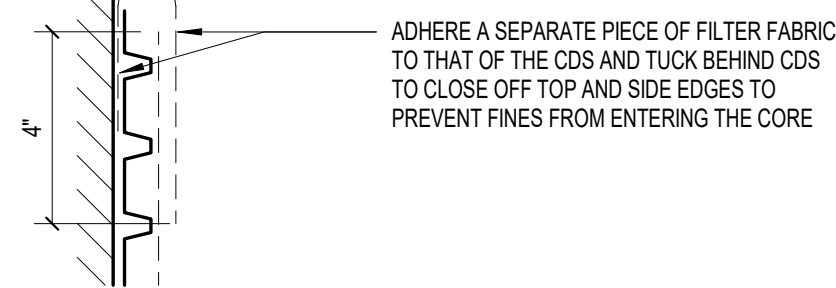
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Autodesk Docs\\240559 413 Franklin Ave\\240559 413 Franklin Ave A311.rvt
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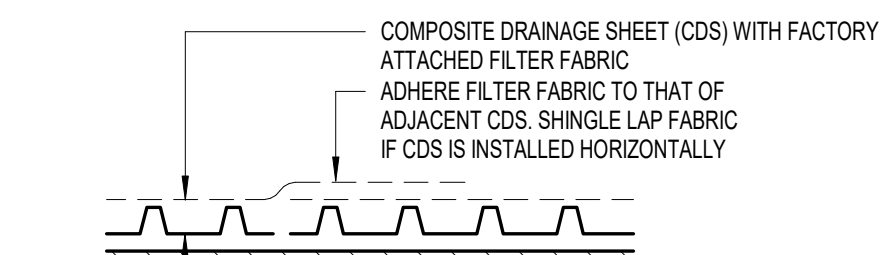
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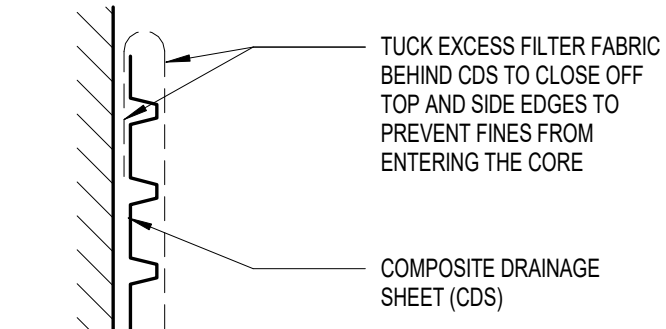
B2. ACCEPTABLE SEAMING METHOD B



B1. ACCEPTABLE TERMINATION METHOD B



A2. ACCEPTABLE SEAMING METHOD A (PREFERRED)

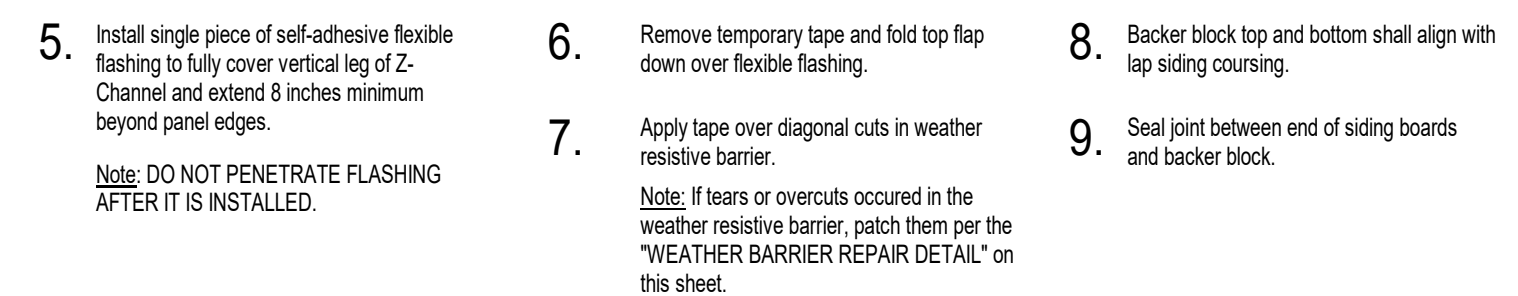
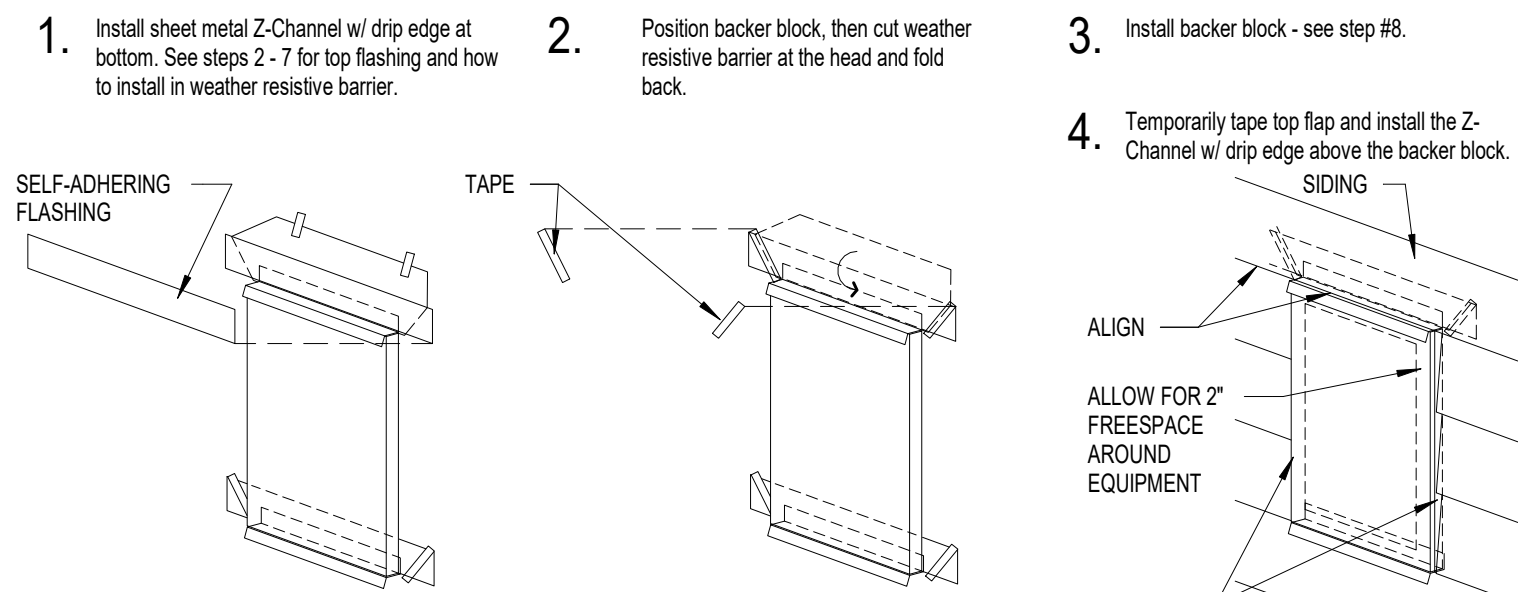
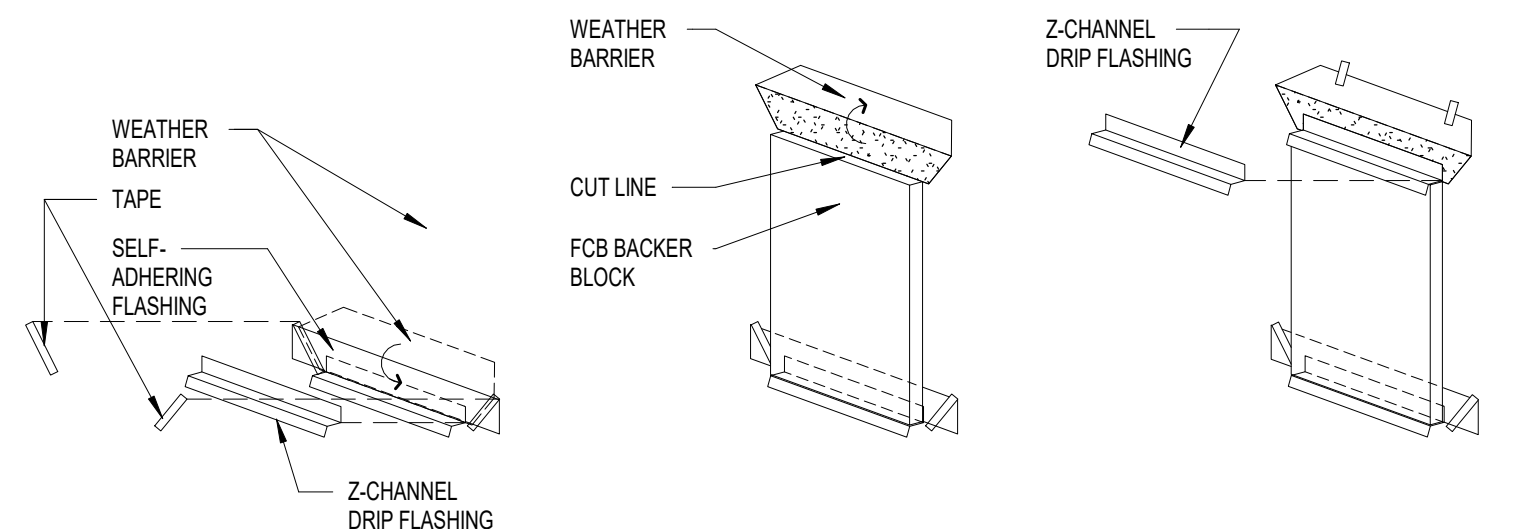


A1. ACCEPTABLE TERMINATION METHOD A (PREFERRED)

6 COMPOSITE DRAINAGE SHEET DETAILING

A511 3" = 1'-0"

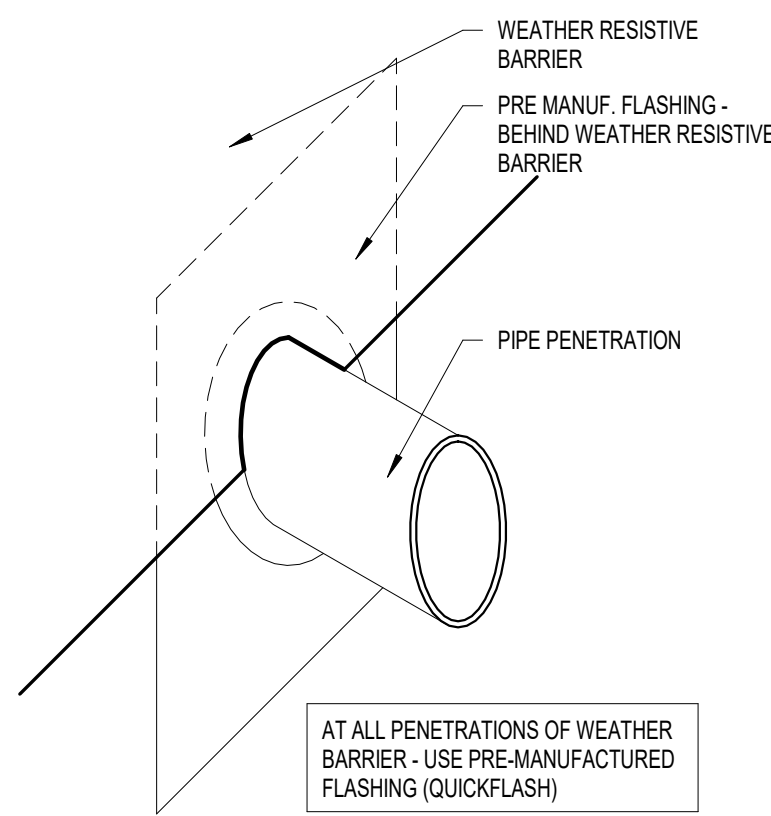
B



- PROVIDE AT ALL PIPE PENETRATIONS & MOUNTING OF MECH. & ELEC. EQUIPMENT & DEVICES

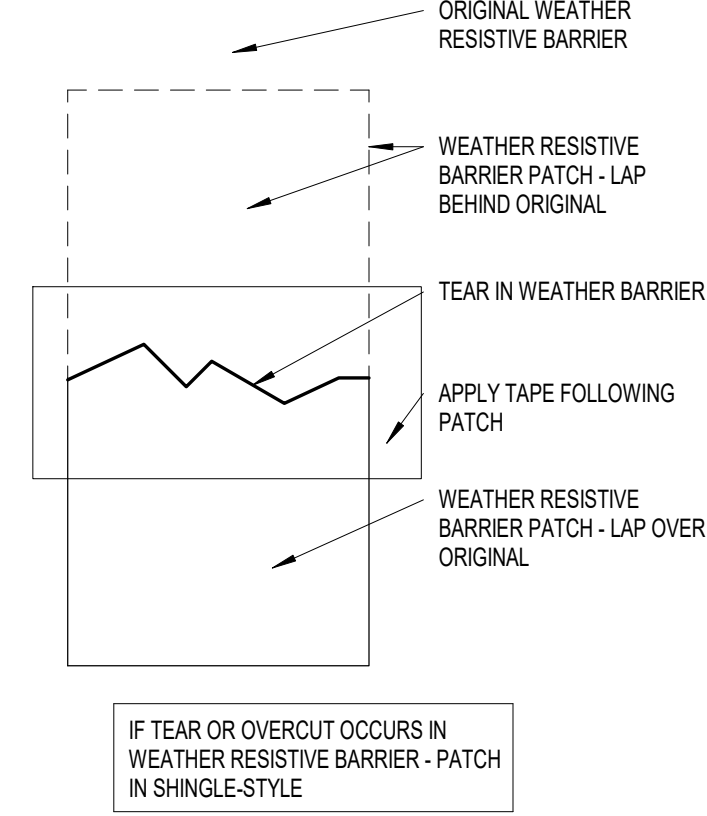
10 BACKER BLOCK FLASHING 3D

A511 1/4" = 1'-0"



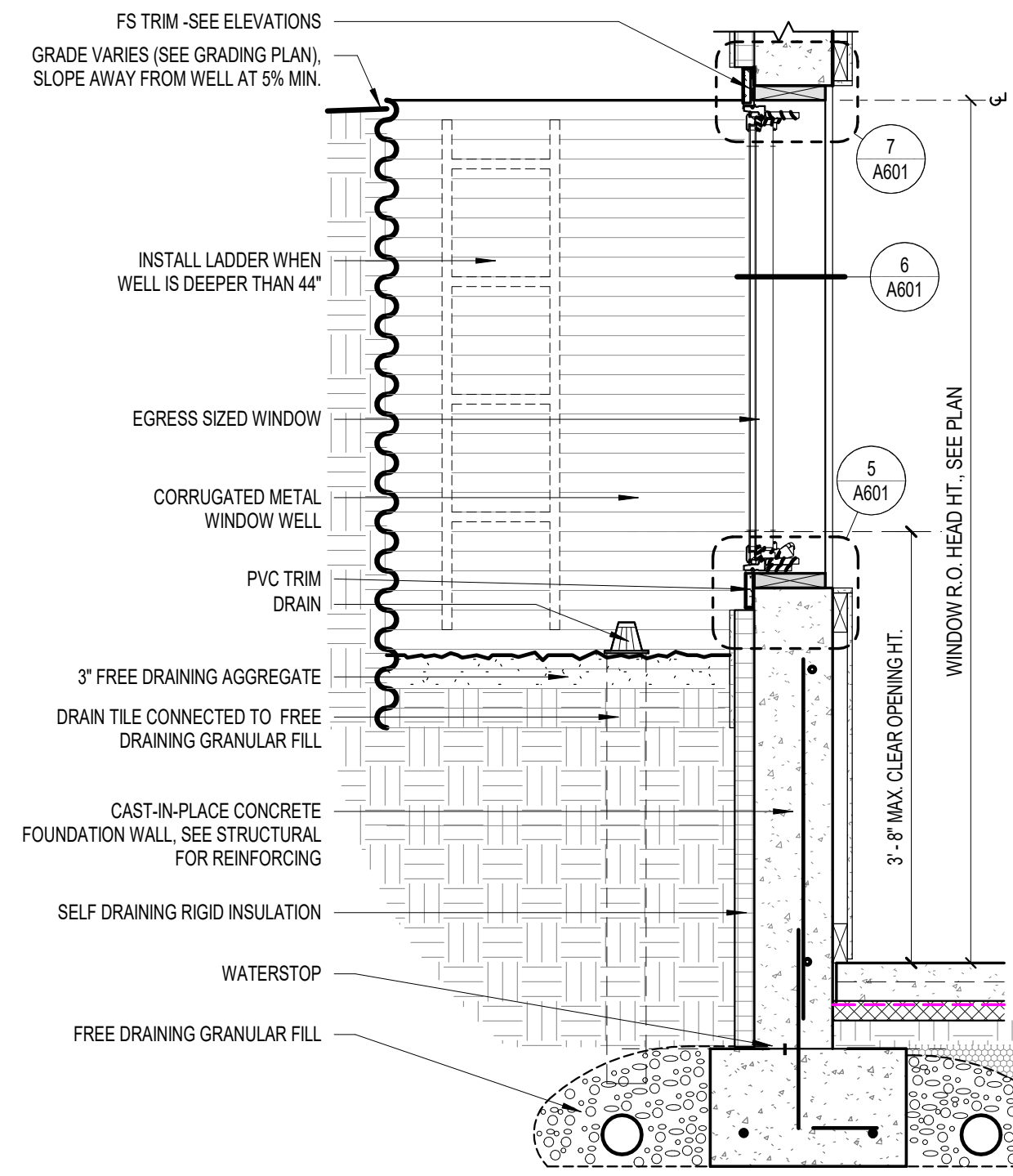
9 PENETRATION FLASHING DETAIL

A511 3" = 1'-0"



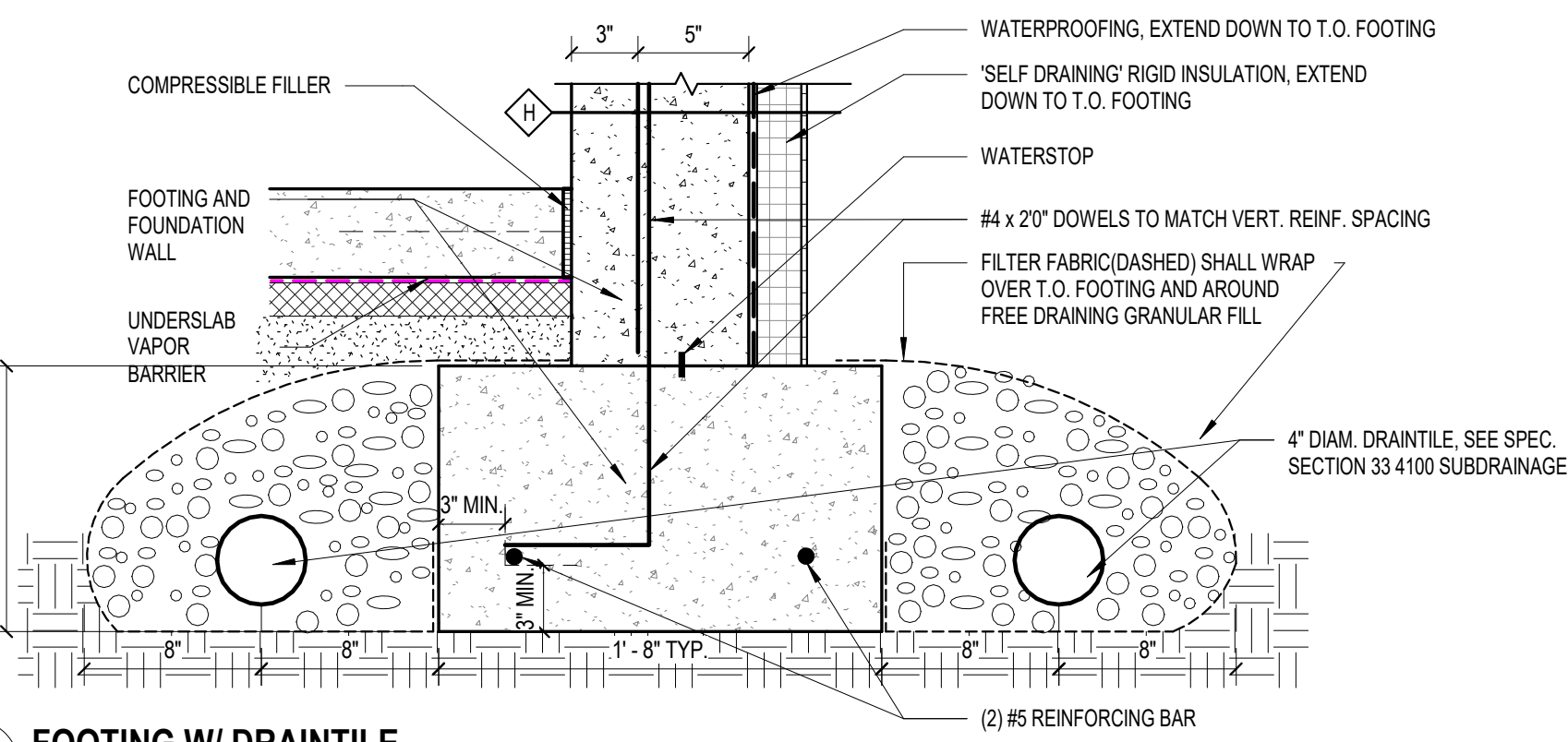
8 WEATHER BARRIER REPAIR

A511 3" = 1'-0"



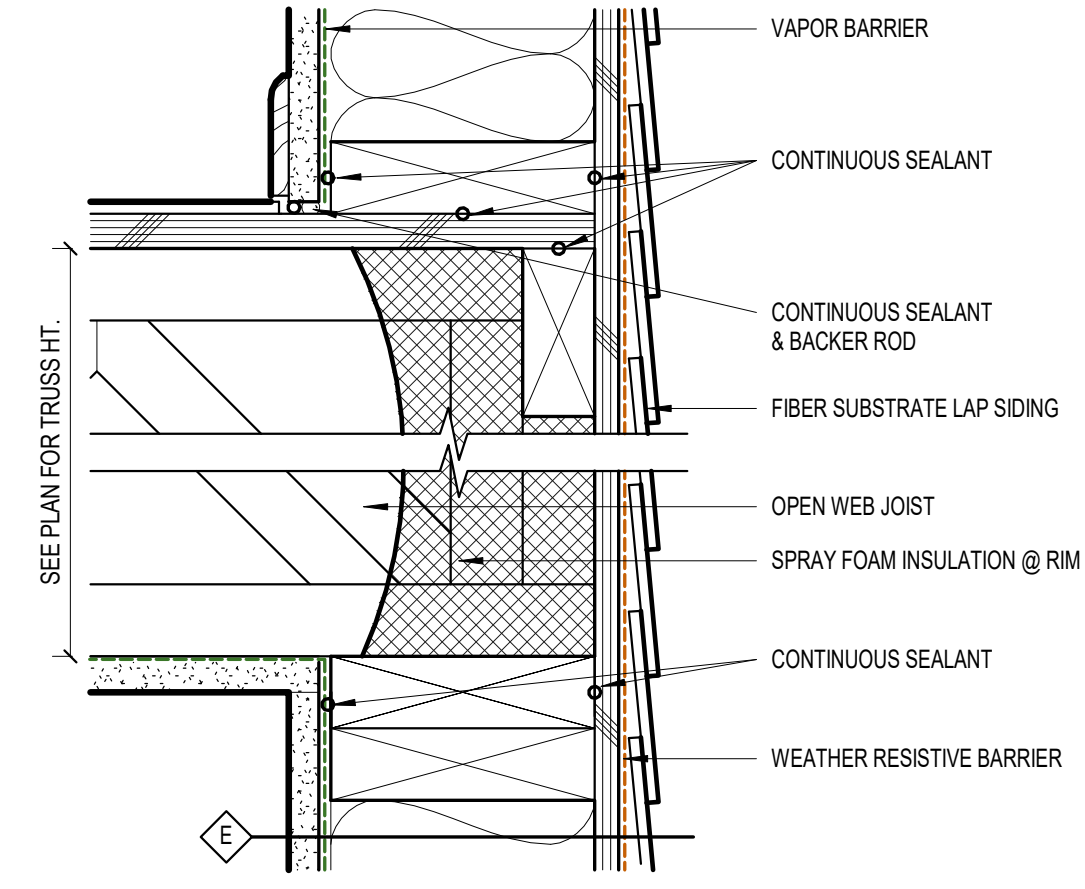
7 WINDOW WELL

A511 3/4" = 1'-0"



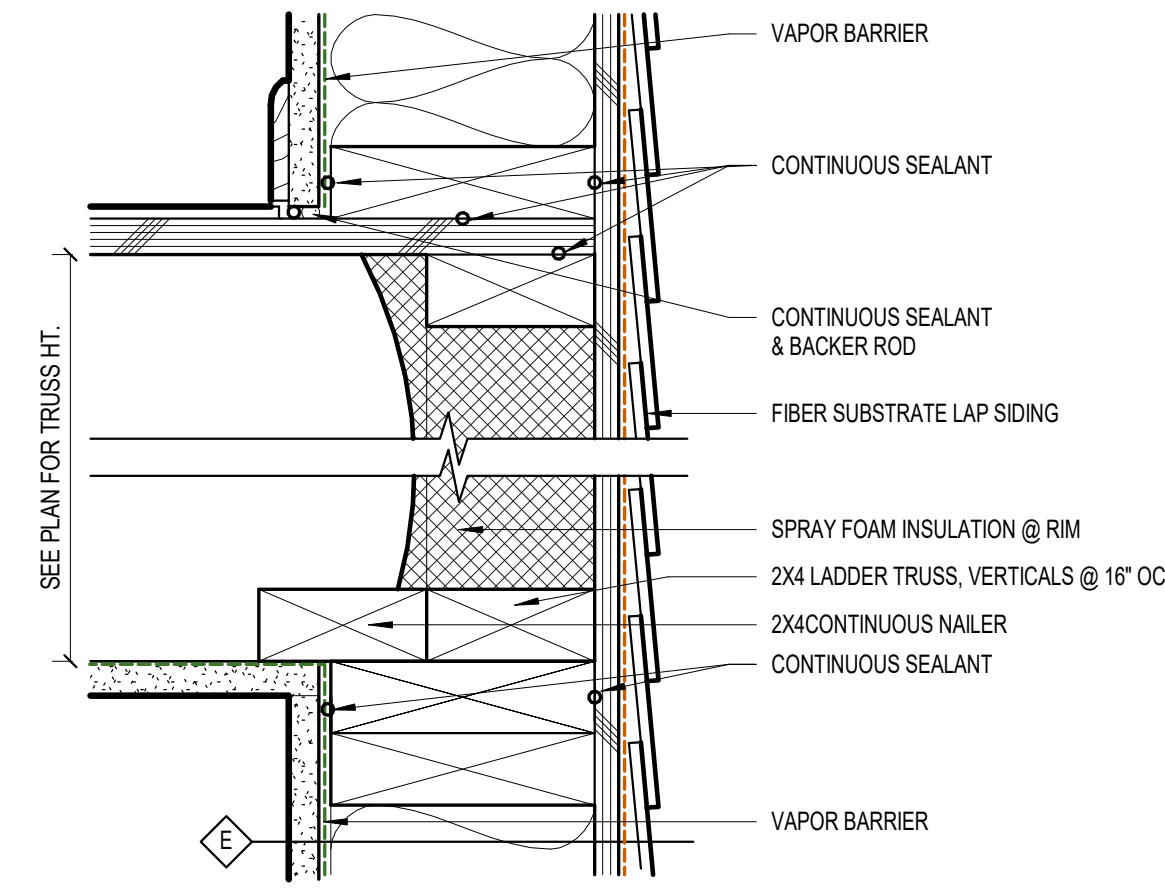
5 FOOTING W/ DRAINTILE

A511 1 1/2" = 1'-0"



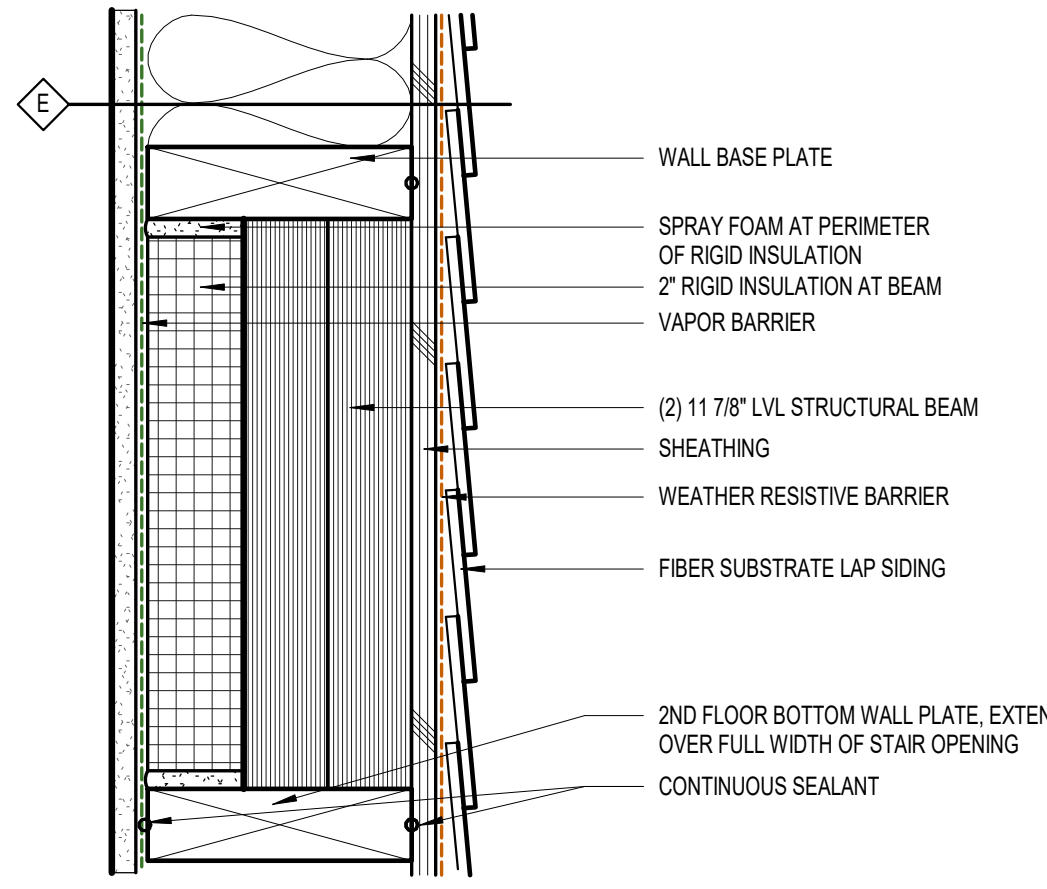
4 EXTERIOR RIM (TRUSS, BRG.)

A511 3" = 1'-0"



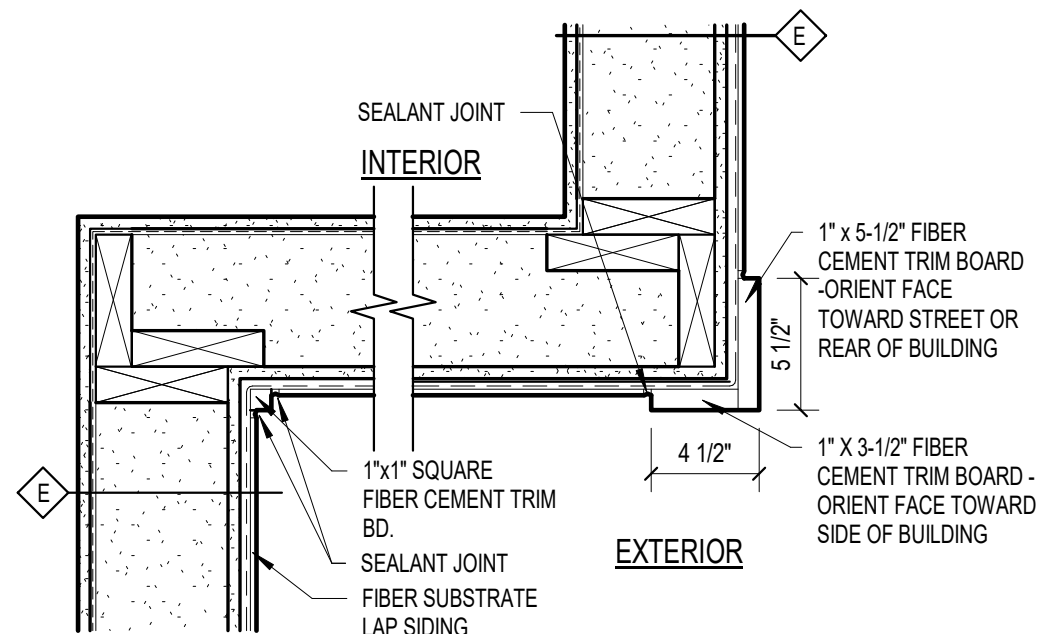
3 EXTERIOR RIM (TRUSS, NONBRG.)

A511 3" = 1'-0"



2 EXTERIOR RIM @ STAIR

A511 3" = 1'-0"



1 PLAN DETAIL @ FLS EXT. CORNERS

A511 1 1/2" = 1'-0"



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**705 N. WALNUT STREET
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105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

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NO DATE REVISION

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Signature: *Andy Madson*
Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:
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**413 FRANKLIN AVE. NW
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DRAWING TITLE:
EXTERIOR DETAILS

DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO:

A511



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MINNEAPOLIS, MN 55401



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FRANKLIN AVE. HOUSE

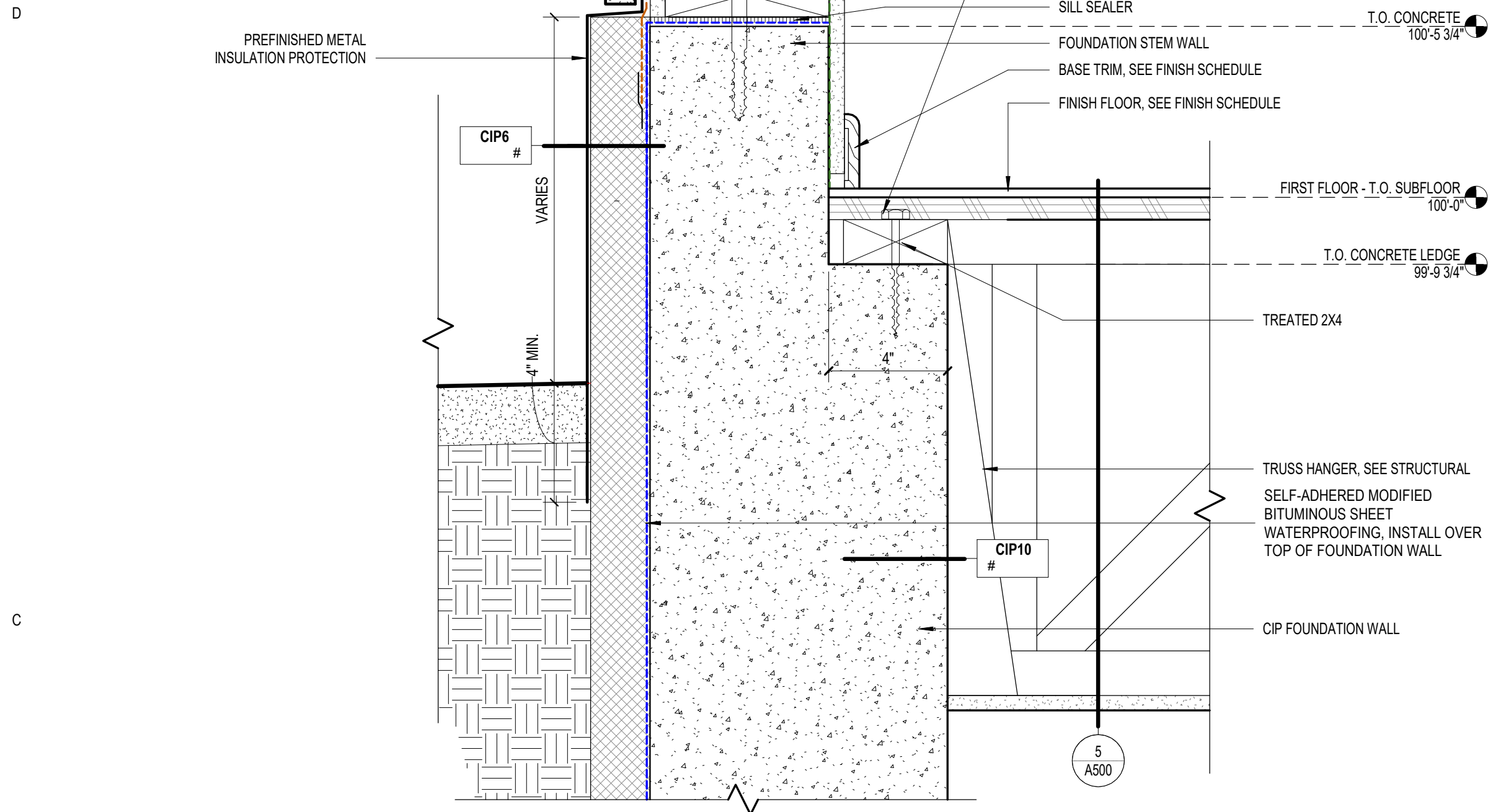
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WATERTOWN, MN

DRAWING TITLE:
EXTERIOR DETAILS

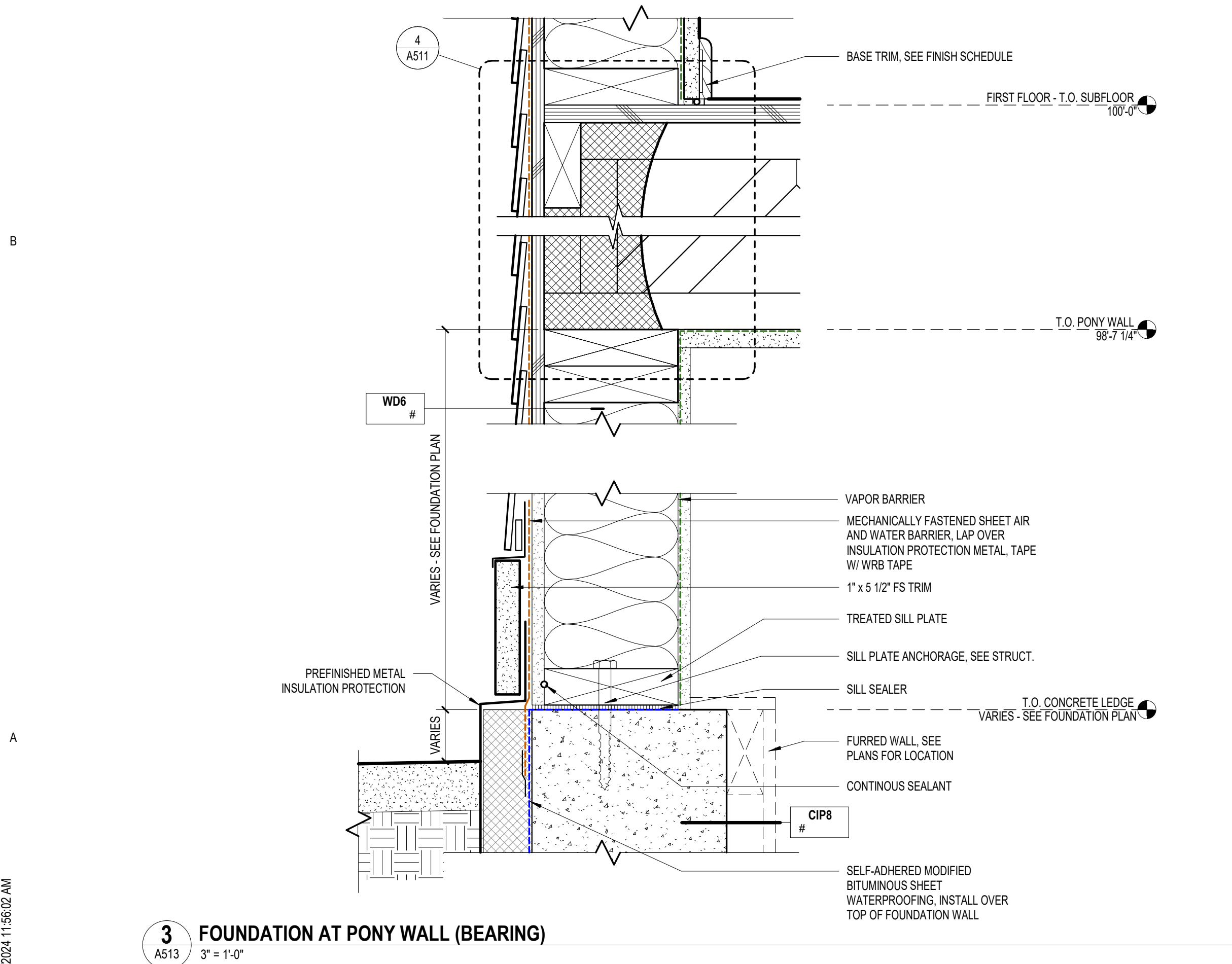
DRAWN BY: XXX
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PROJ. NO: 240559
DRAWING NO:

A512

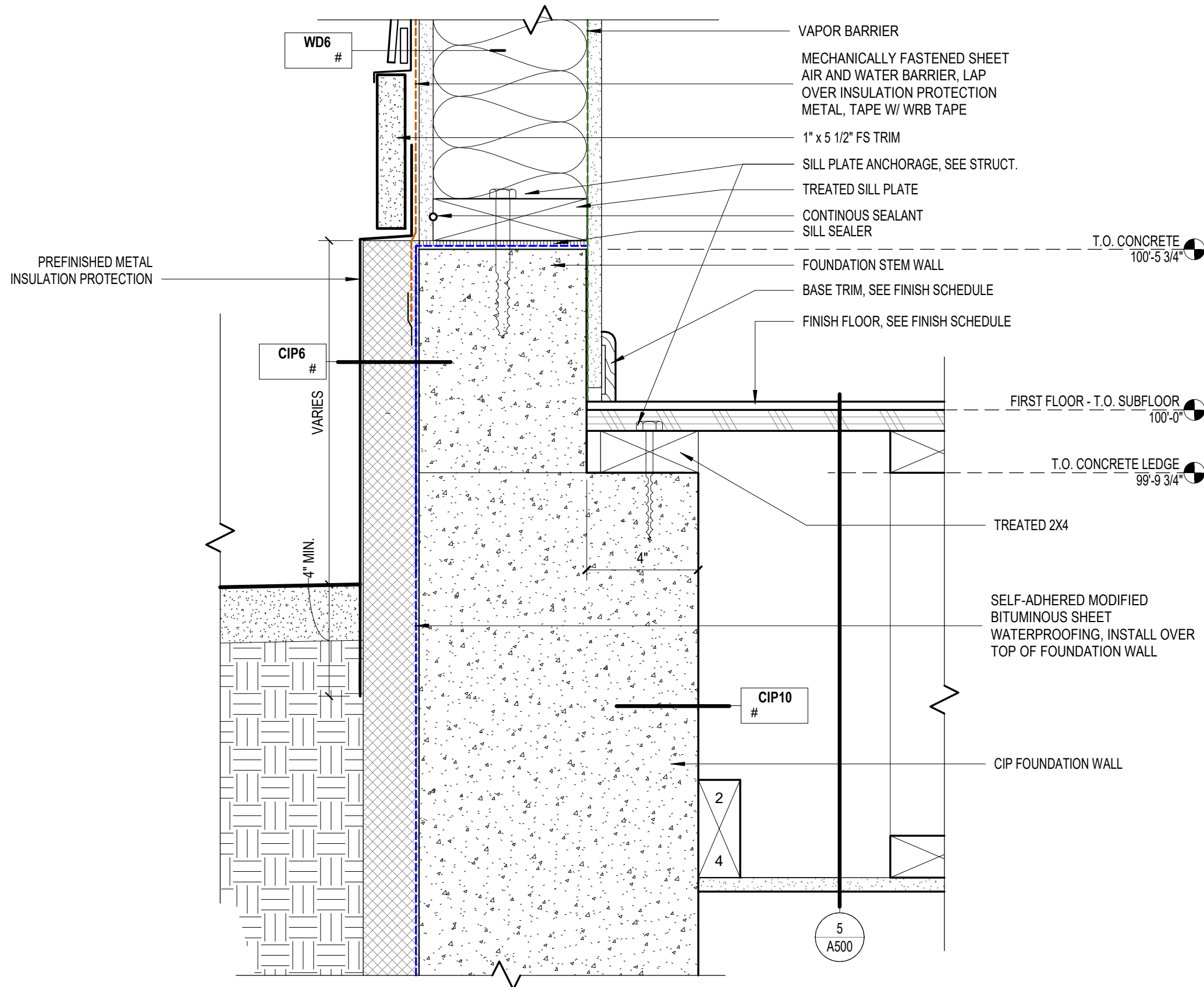
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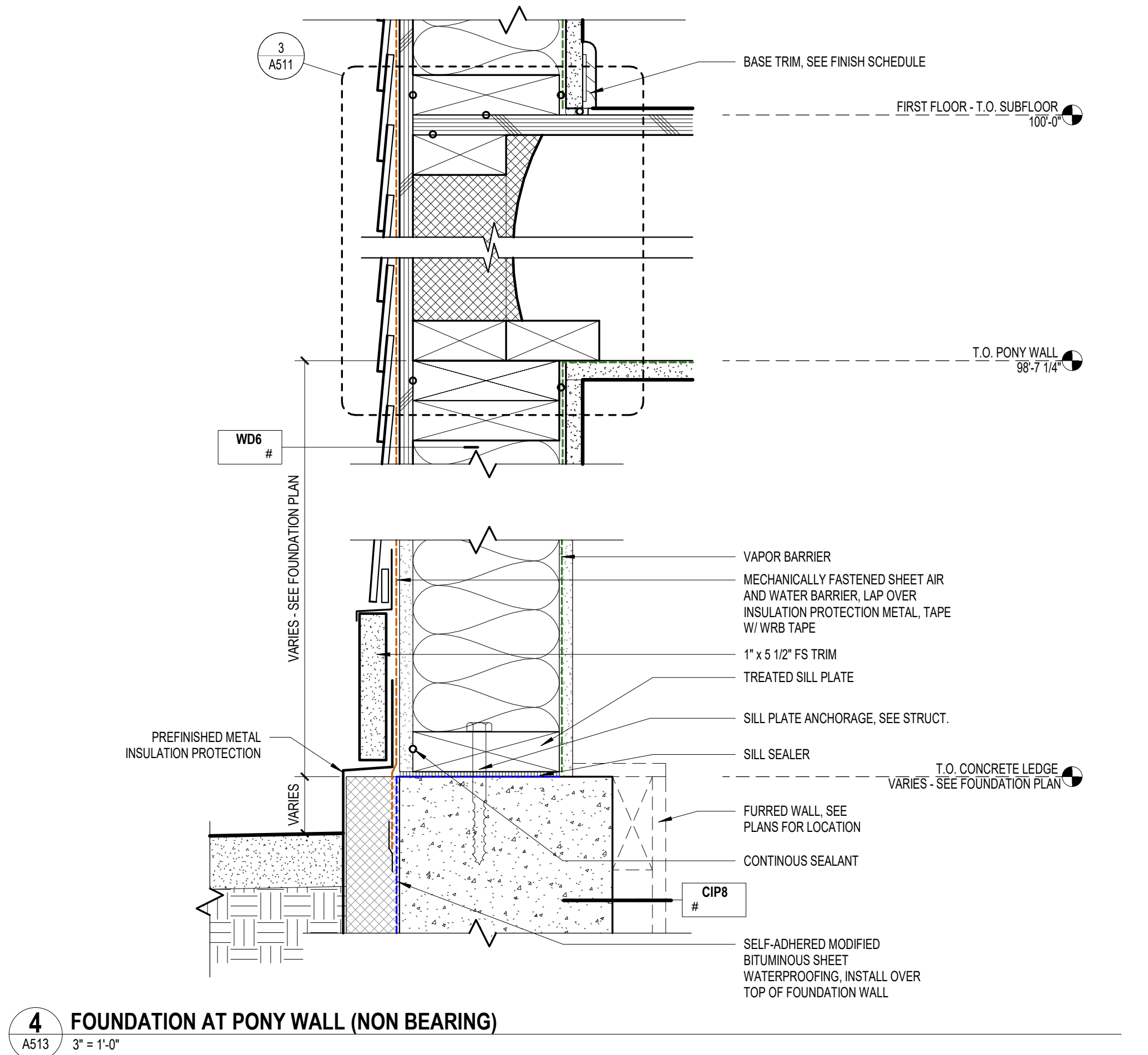
2 FOUNDATION AT STEM WALL (BEARING)
A513 3" = 1'-0"



3 FOUNDATION AT PONY WALL (BEARING)
A513 3" = 1'-0"



1 FOUNDATION AT STEM WALL (NON BEARING)
A513 3" = 1'-0"



4 FOUNDATION AT PONY WALL (NON BEARING)
A513 3" = 1'-0"



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A	B	C
D	E	F
G	H	J

KEYPLAN

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Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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DRAWING TITLE:

EXTERIOR DETAILS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 240559
DRAWING NO:

A513

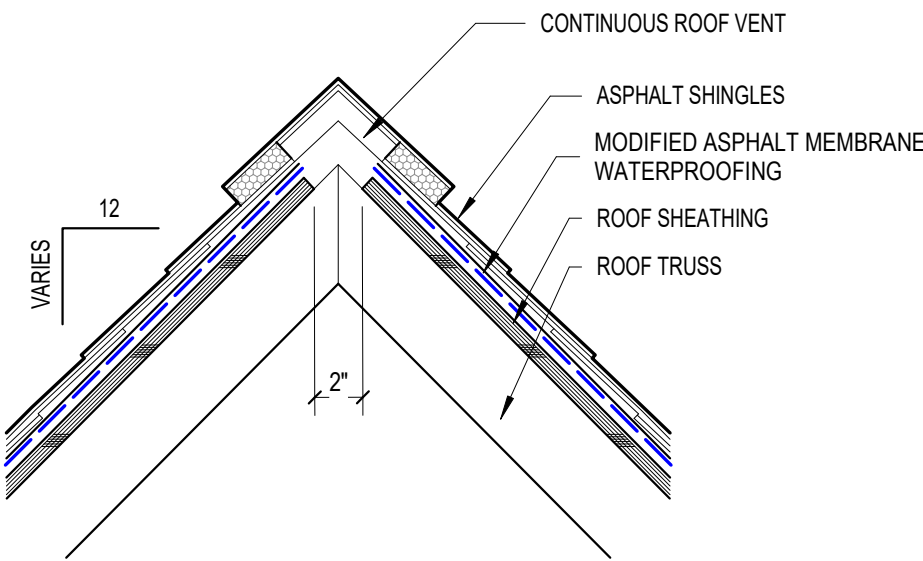
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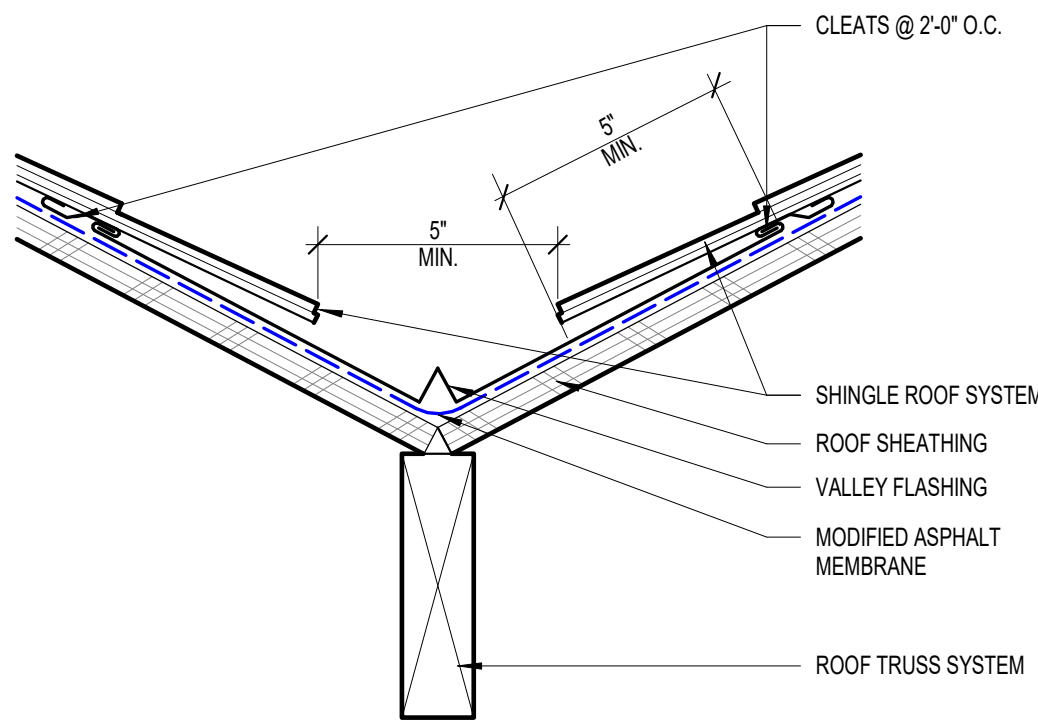
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B

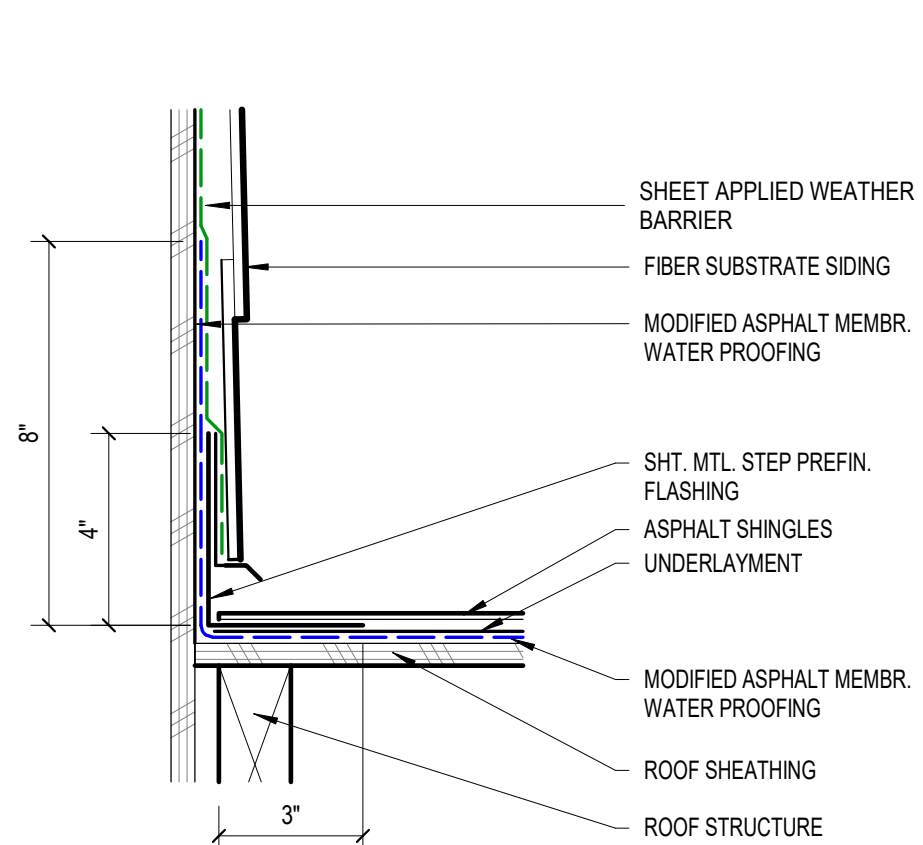
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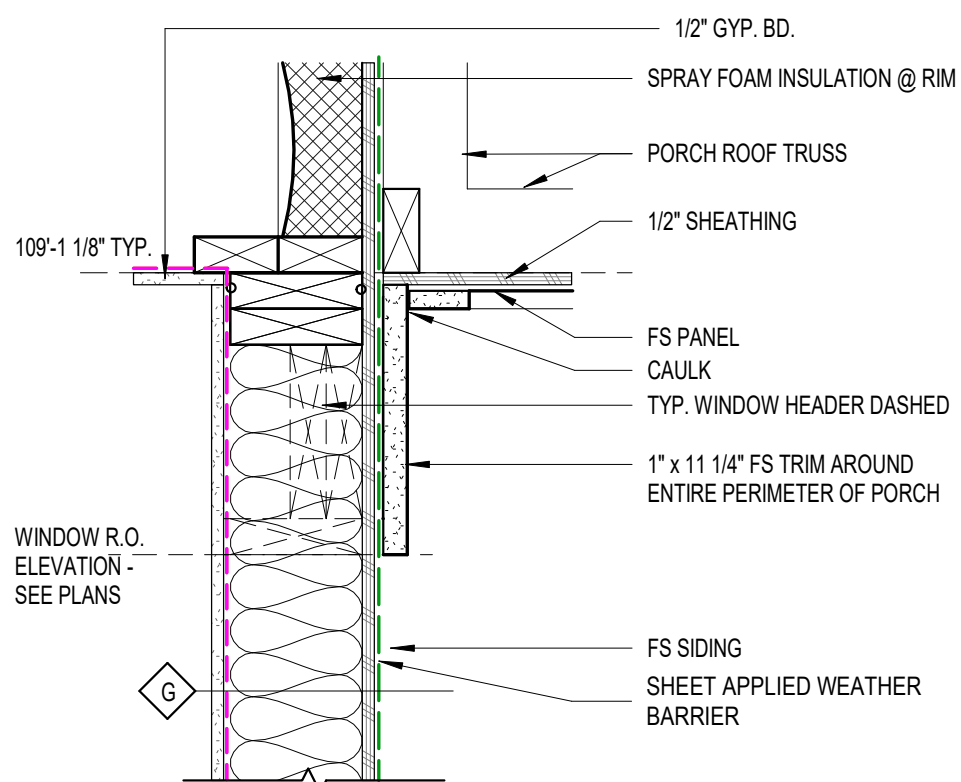
12 ROOF RIDGE VENT
A541 1 1/2" = 1'-0"



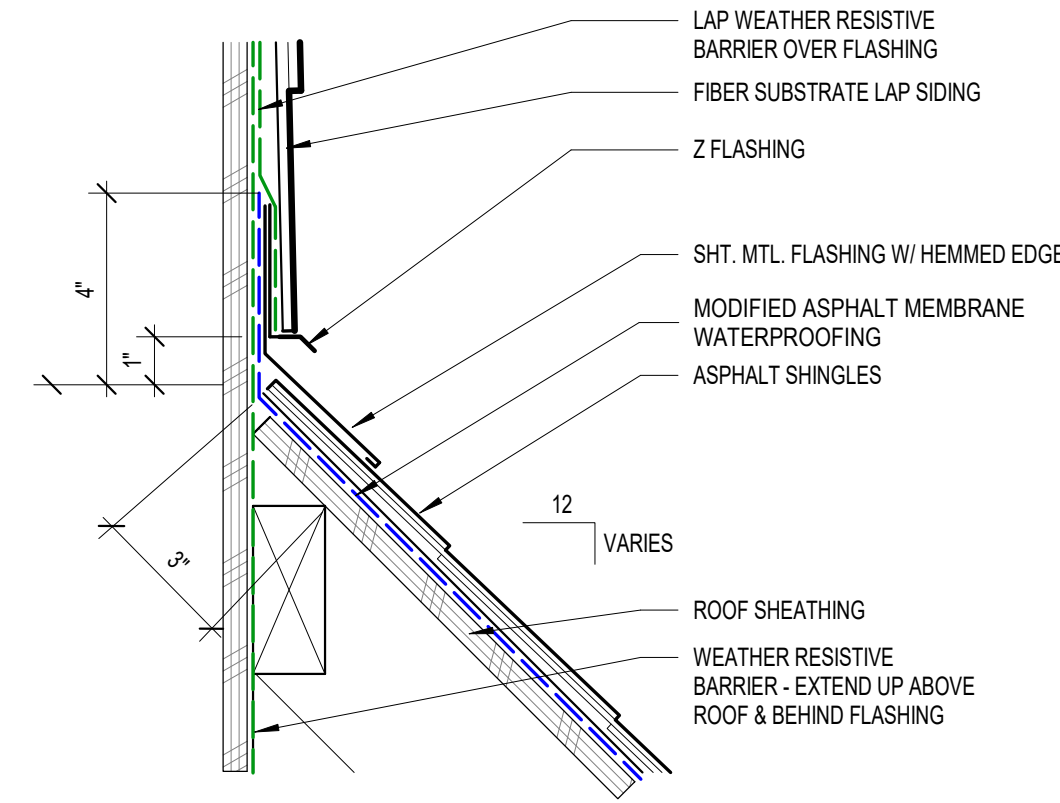
11 ROOF @ VALLEY FLASHING
A541 3" = 1'-0"



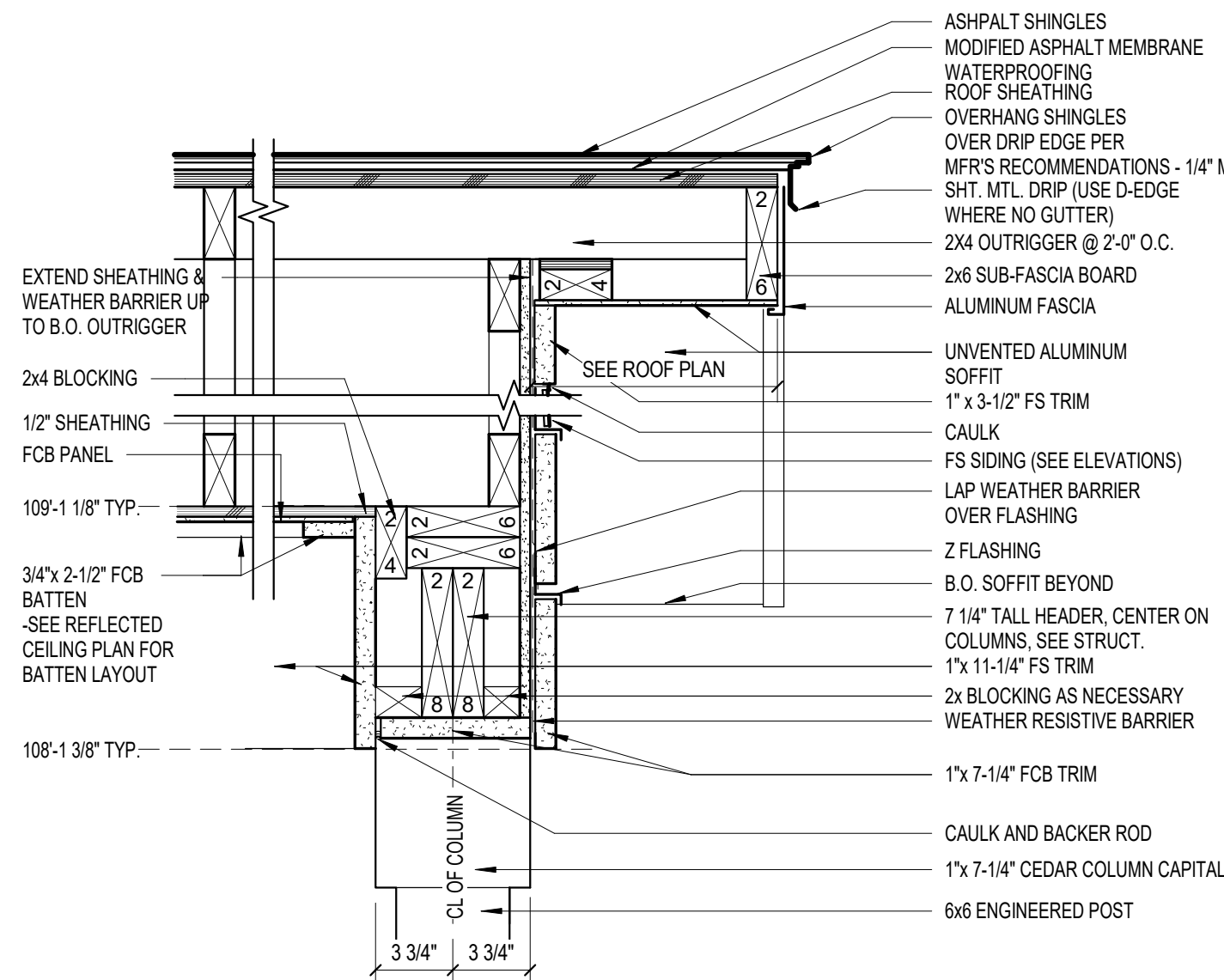
10 ROOF/WALL @ SIDING
A541 3" = 1'-0"



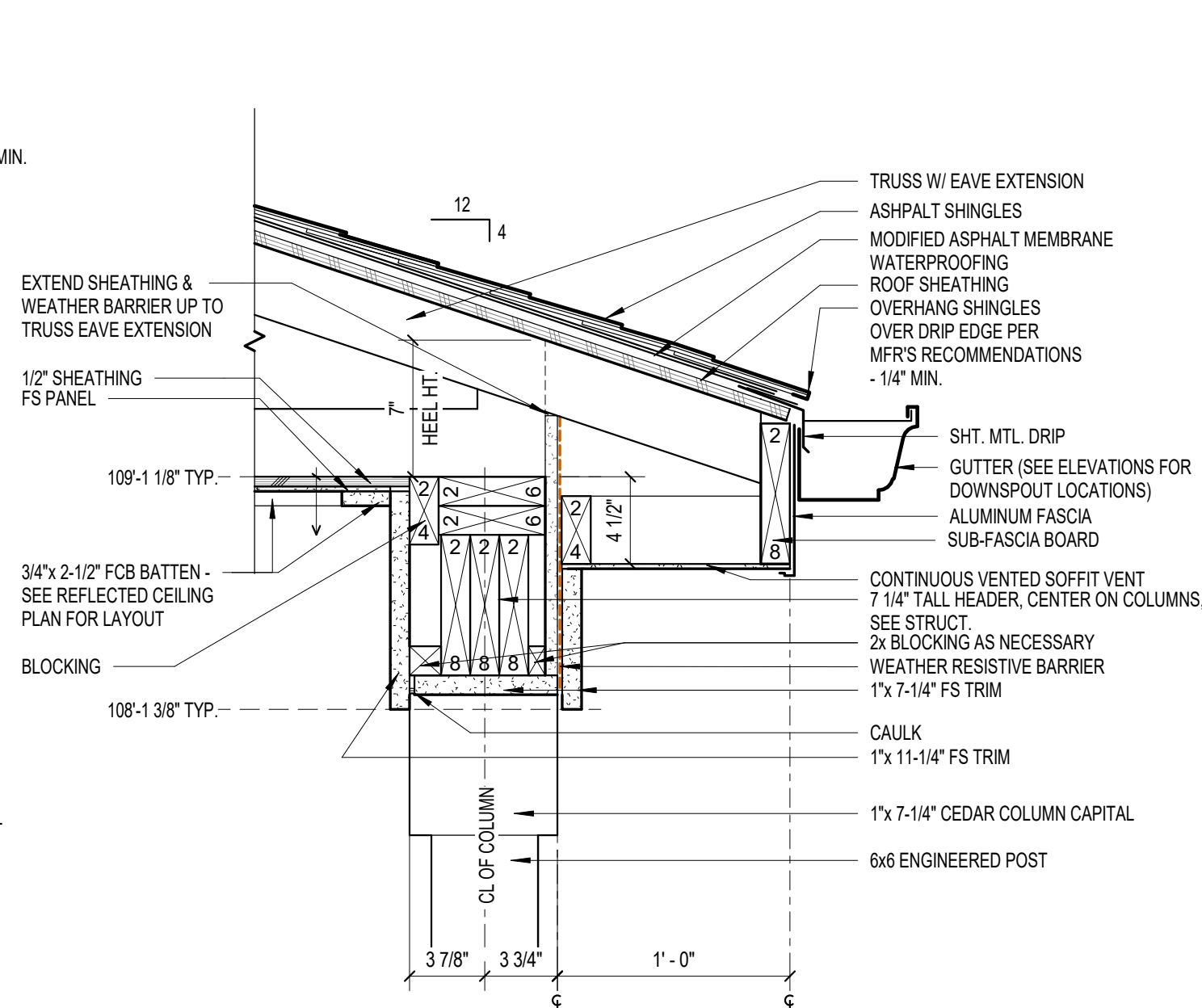
8 EXT. WALL/PORCH CEILING JUNCTION
A541 1 1/2" = 1'-0"



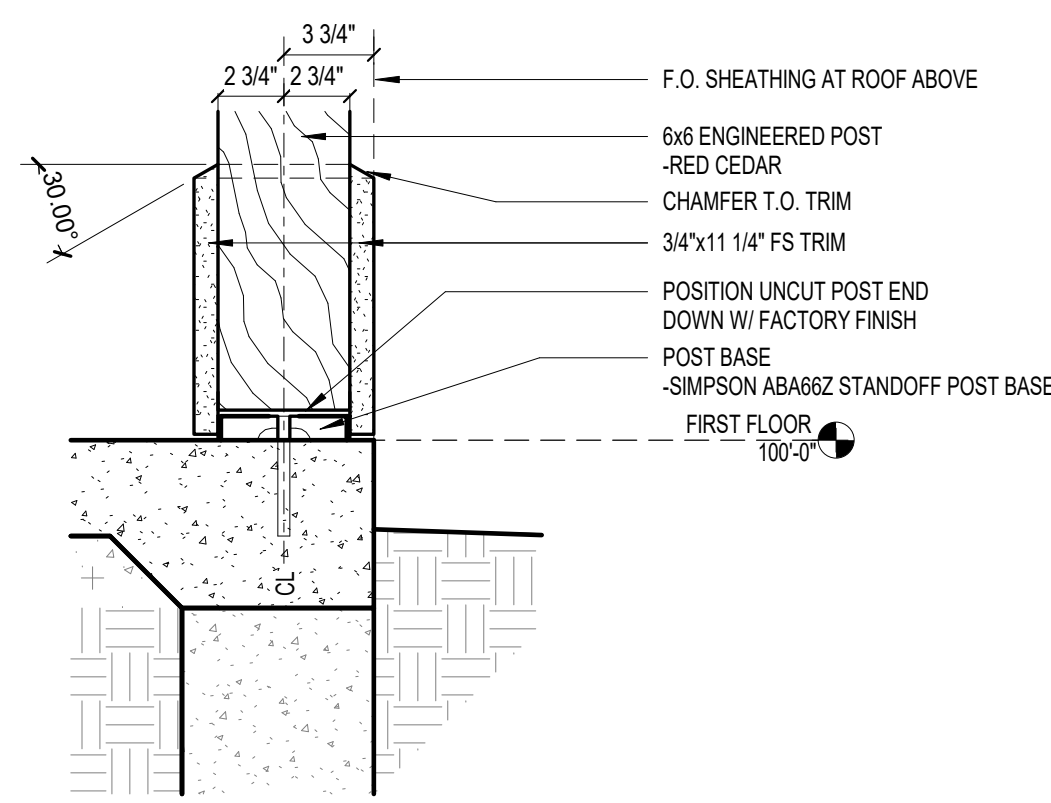
7 ROOF TO WALL JUNCTION @ SIDING
A541 3" = 1'-0"



5 PORCH RAKE EDGE
A541 1 1/2" = 1'-0"



2 PORCH EAVE
A541 1 1/2" = 1'-0"



1 COLUMN BASE SECTION
A541 1 1/2" = 1'-0"



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105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

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Signature: *Andy Madson*
Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:
FRANKLIN AVE. HOUSE

**413 FRANKLIN AVE. NW
WATERTOWN, MN**

DRAWING TITLE:
**ROOF & PORCH
DETAILS**

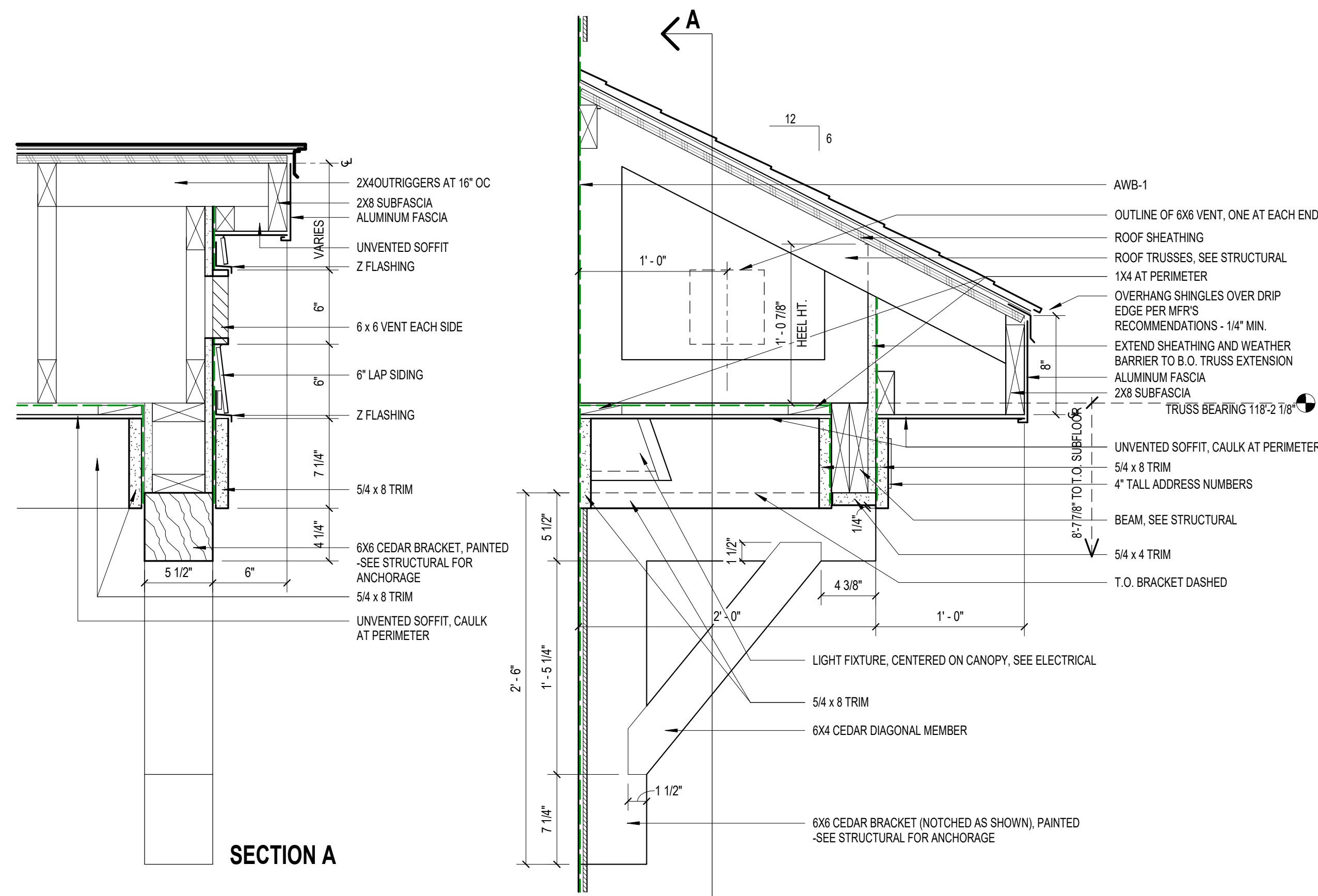
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CHECKED BY: Checker
PROJ. NO: 240559
DRAWING NO:

A541

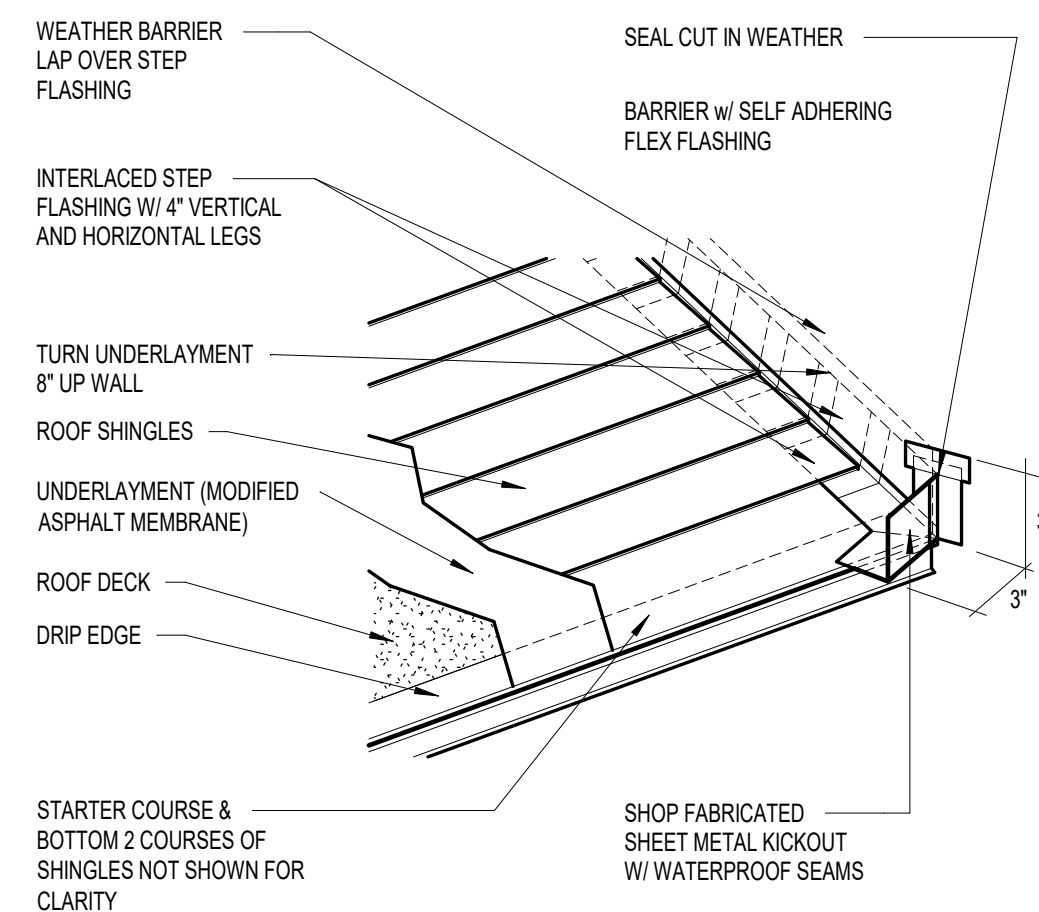
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705 N. WALNUT STREET
CHASKA, MN 55318

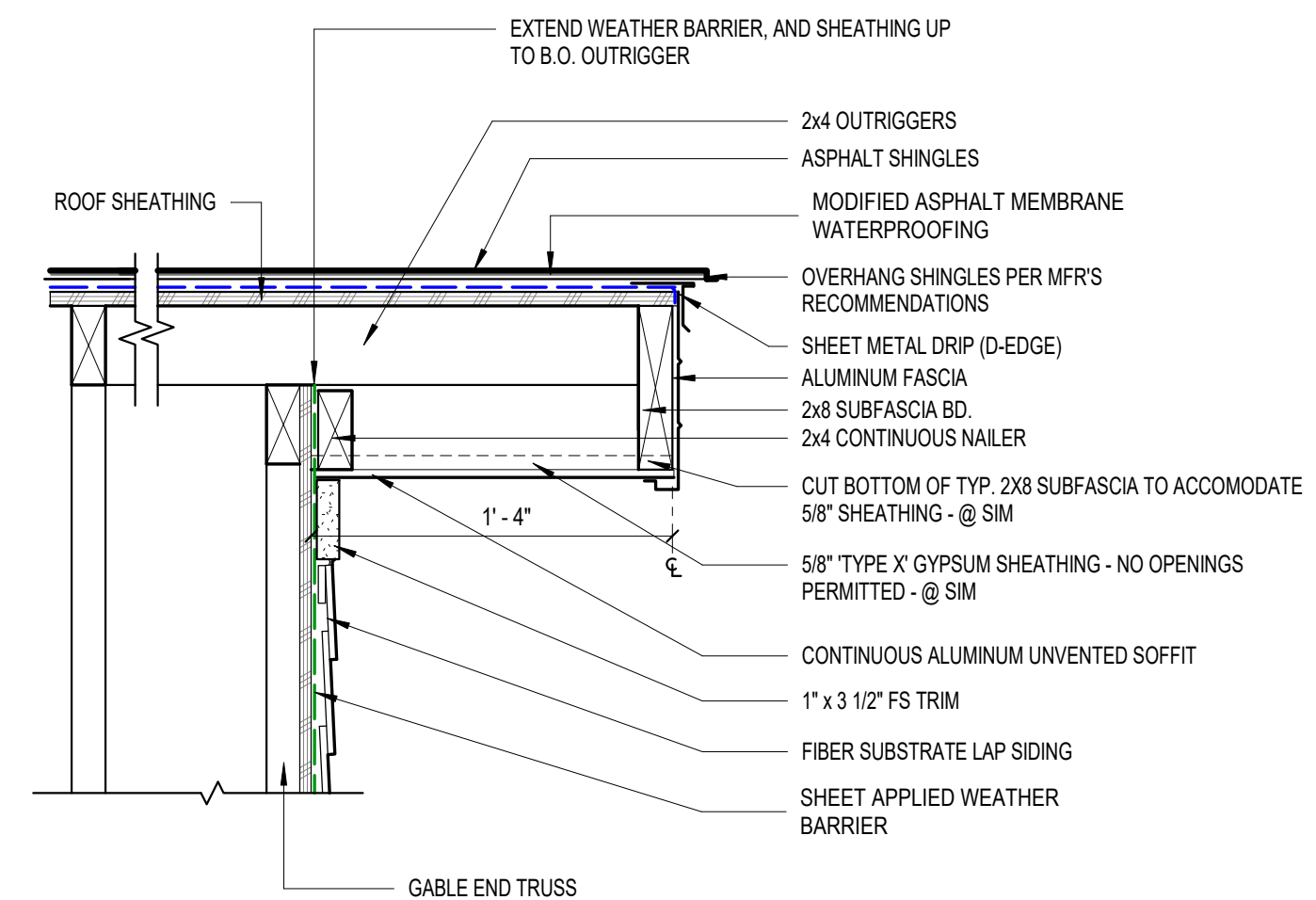
CONSULTANT #1:
MATTSON MACDONALD YOUNG, INC.
 105 5TH AVE. S. SUITE 100
 MINNEAPOLIS, MN 55401



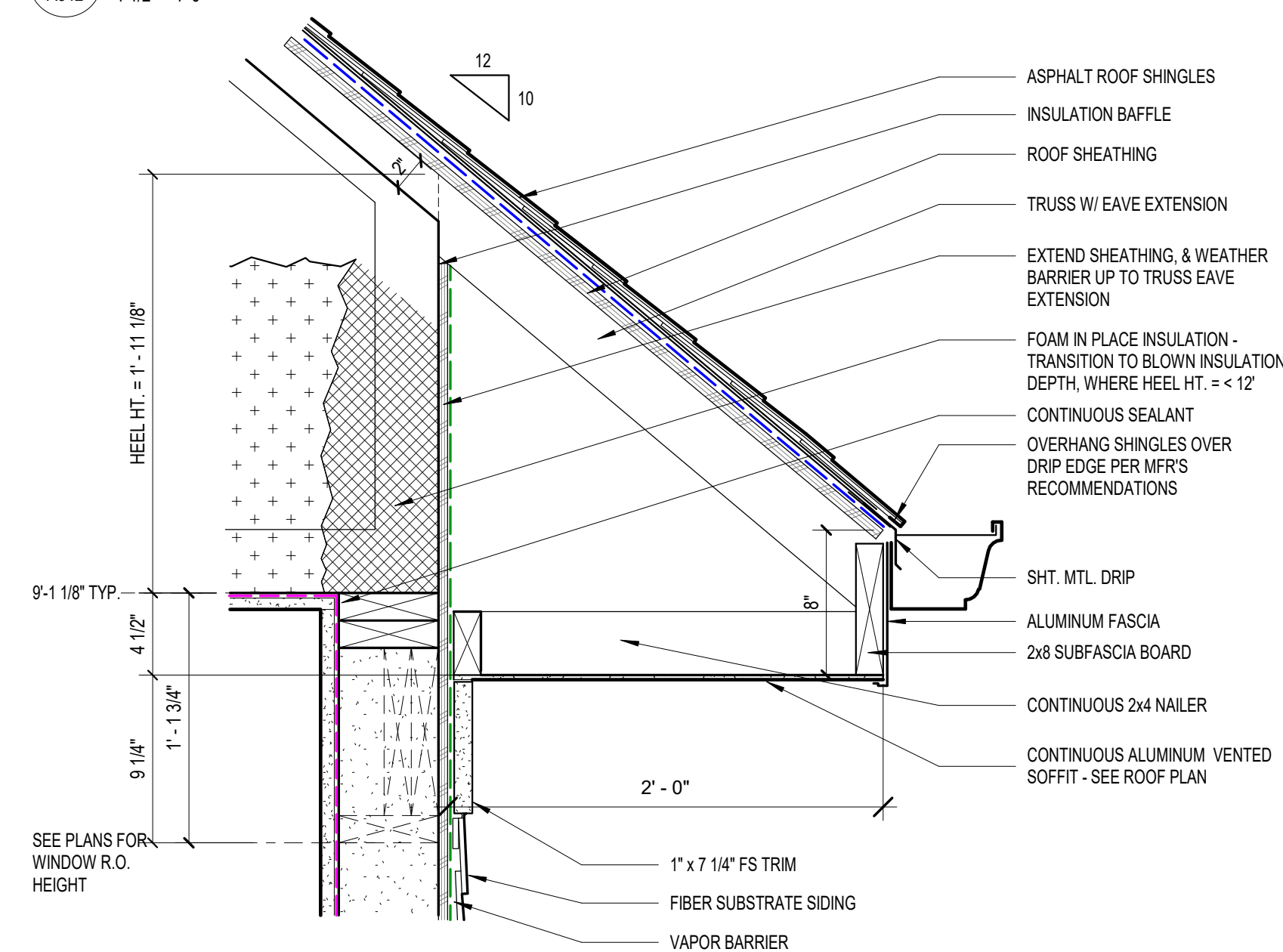
4 **CANOPY DETAIL**
A542 1 1/2" = 1'-0"



5 KICKOUT FLASHING



3 **RAKE EDGE**
A542 1 1/2" = 1'-0"



1 **NON-RATED EAVE @ 10/12 SLOPE**
A542 1 1/2" = 1'-0"

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NO	DATE	REVISION
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I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: James Brown

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME: _____

FRANKLIN AVE. HOUSE

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DRAWING TITLE:

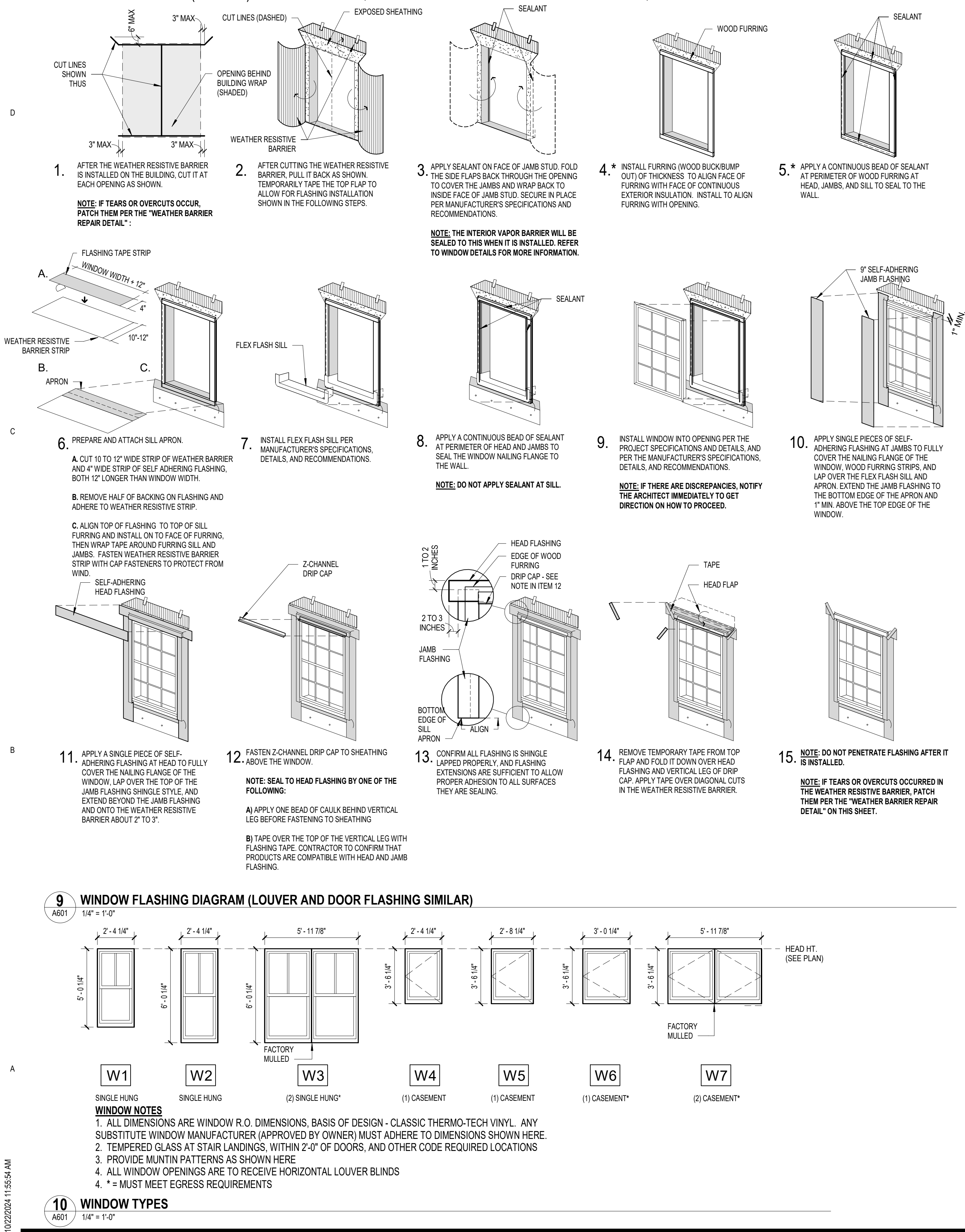
ROOF DETAILS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 240559
DRAWING NO:

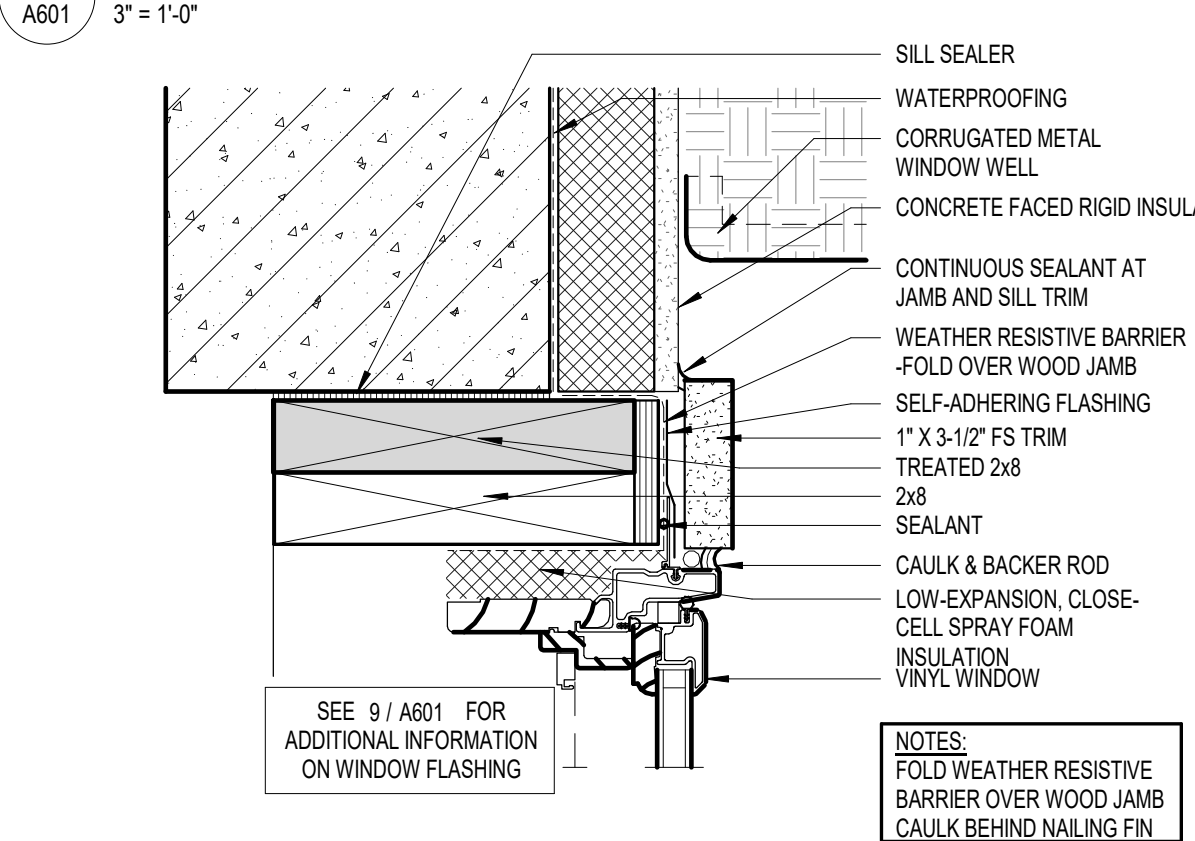
A542

NOTE:

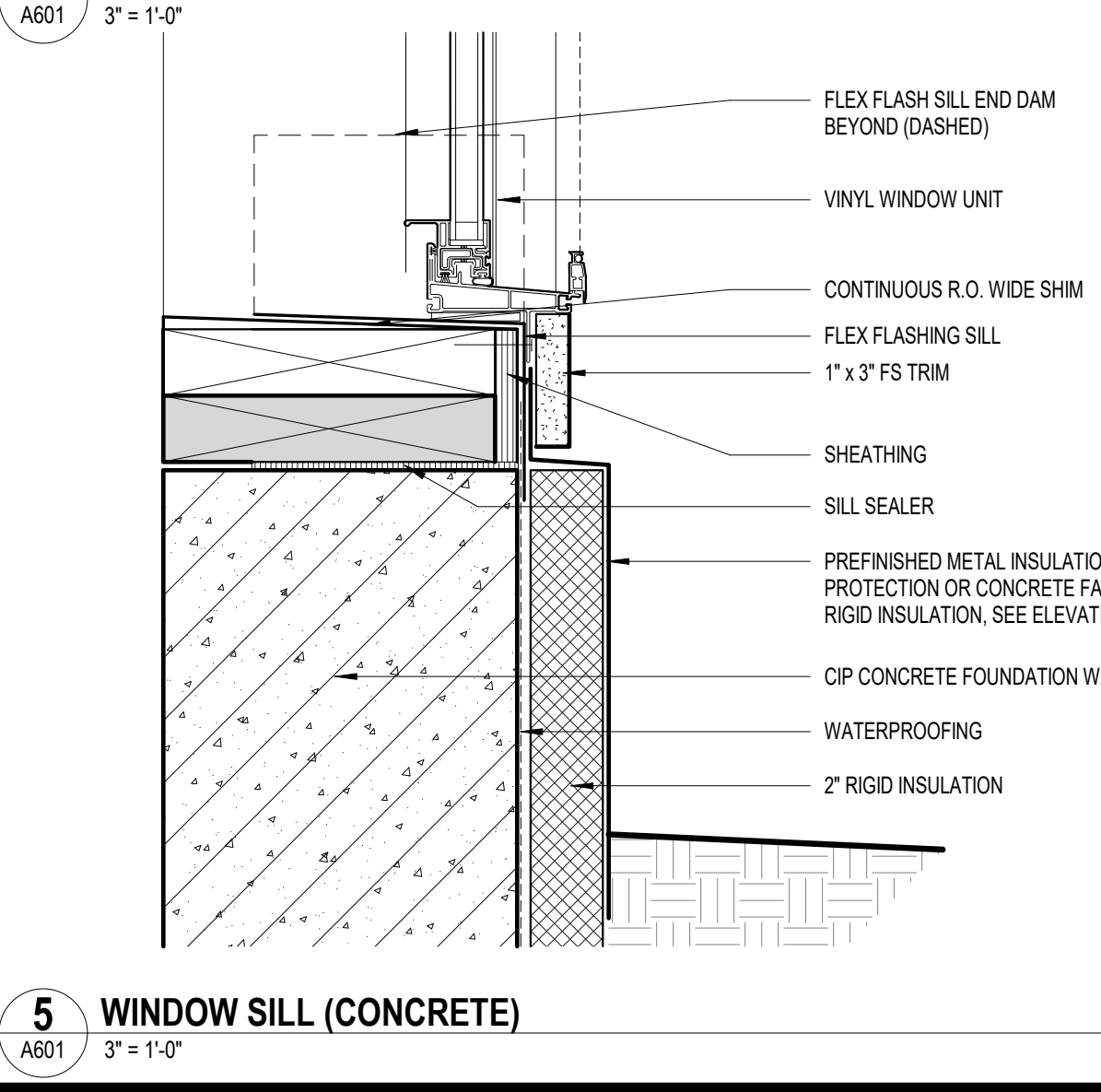
IF WOOD FURRING ("BUCKS") ARE PRE-APPLIED, THEN STEPS 4 & 5 OCCUR PRIOR TO STEPS 1, 2 & 3.



7 WINDOW HEAD (CONCRETE)



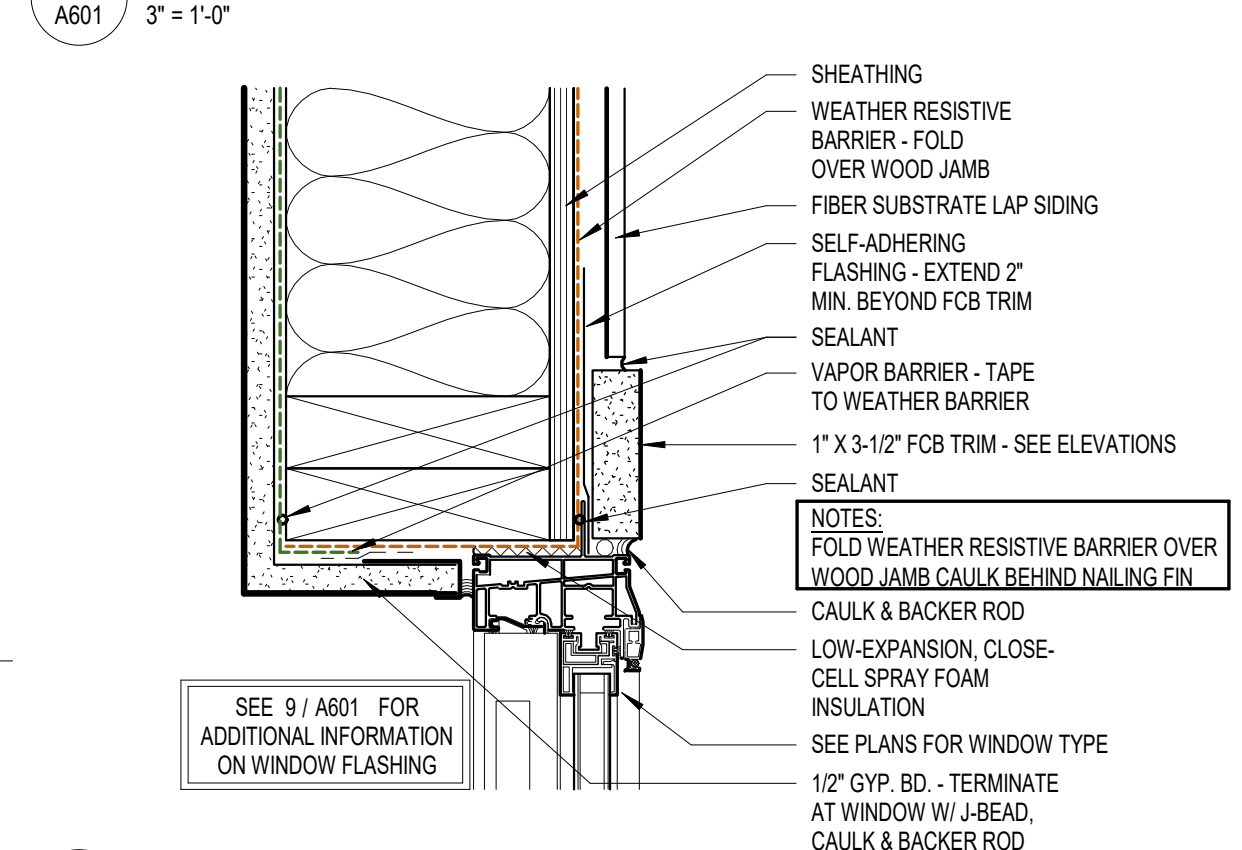
6 WINDOW JAMB (CONCRETE)



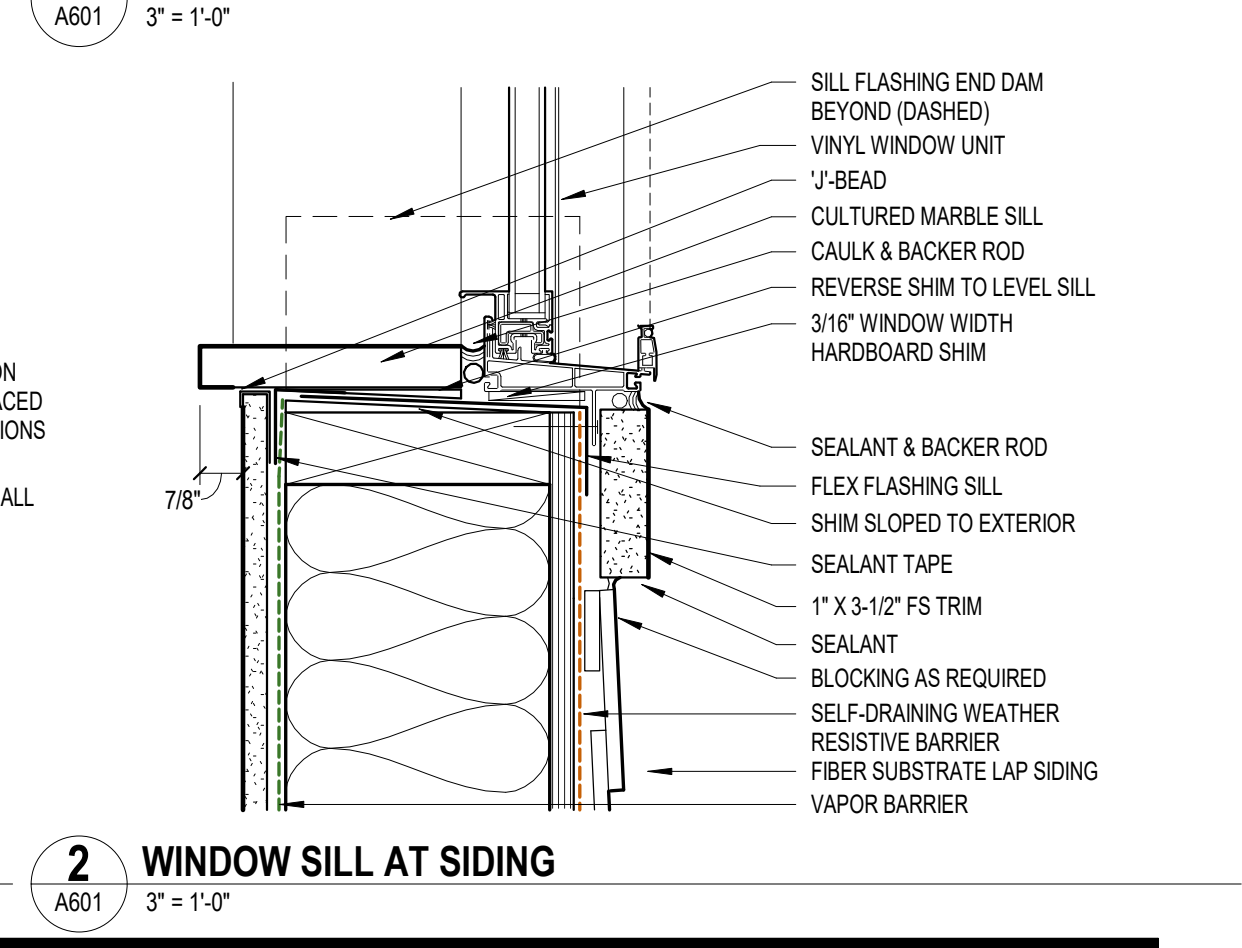
5 WINDOW SILL (CONCRETE)



4 WINDOW HEAD AT SIDING



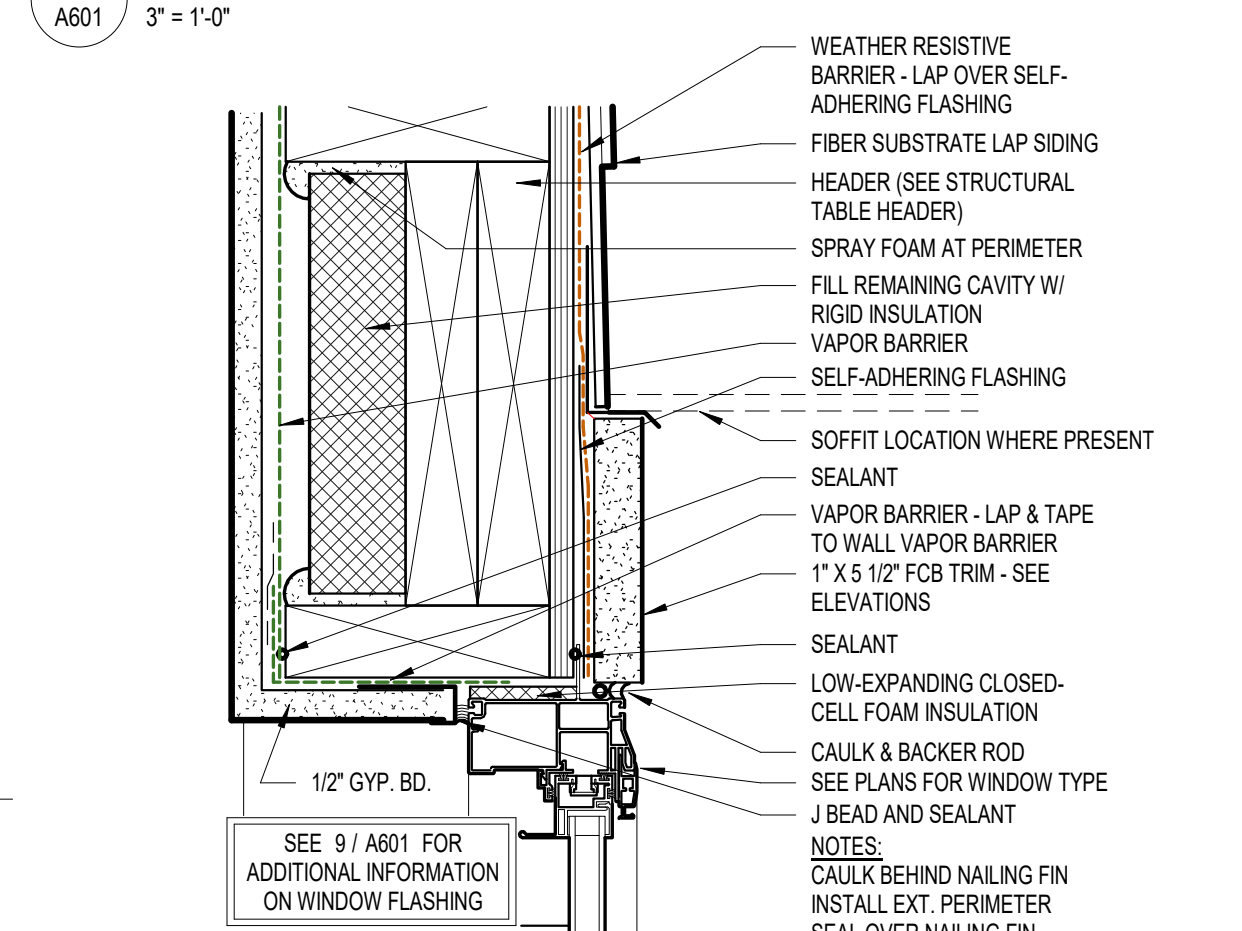
3 WINDOW JAMB AT SIDING



2 WINDOW SILL AT SIDING



8 WINDOW HEAD AT PORCH



7 WINDOW HEAD (CONCRETE)



6 WINDOW JAMB (CONCRETE)



5 WINDOW SILL (CONCRETE)



4 WINDOW HEAD AT SIDING



3 WINDOW JAMB AT SIDING



2 WINDOW SILL AT SIDING



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NO	DATE	REVISION

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Typed or Printed Name: **ANDY MADSON**

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:
FRANKLIN AVE. HOUSE

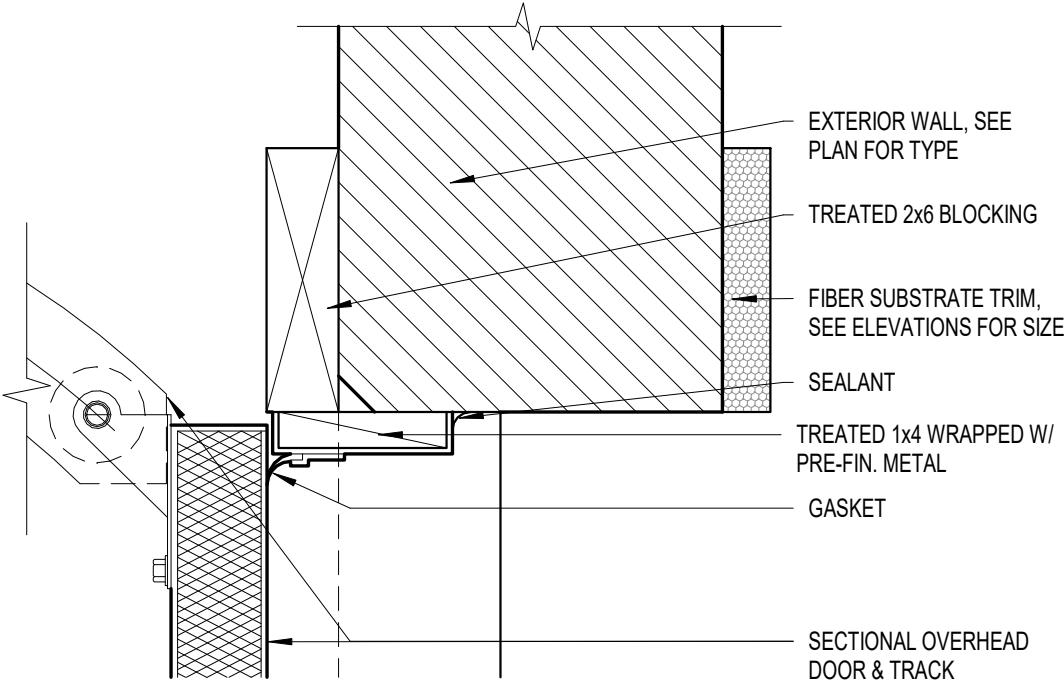
413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:
WINDOW TYPES & DETAILS

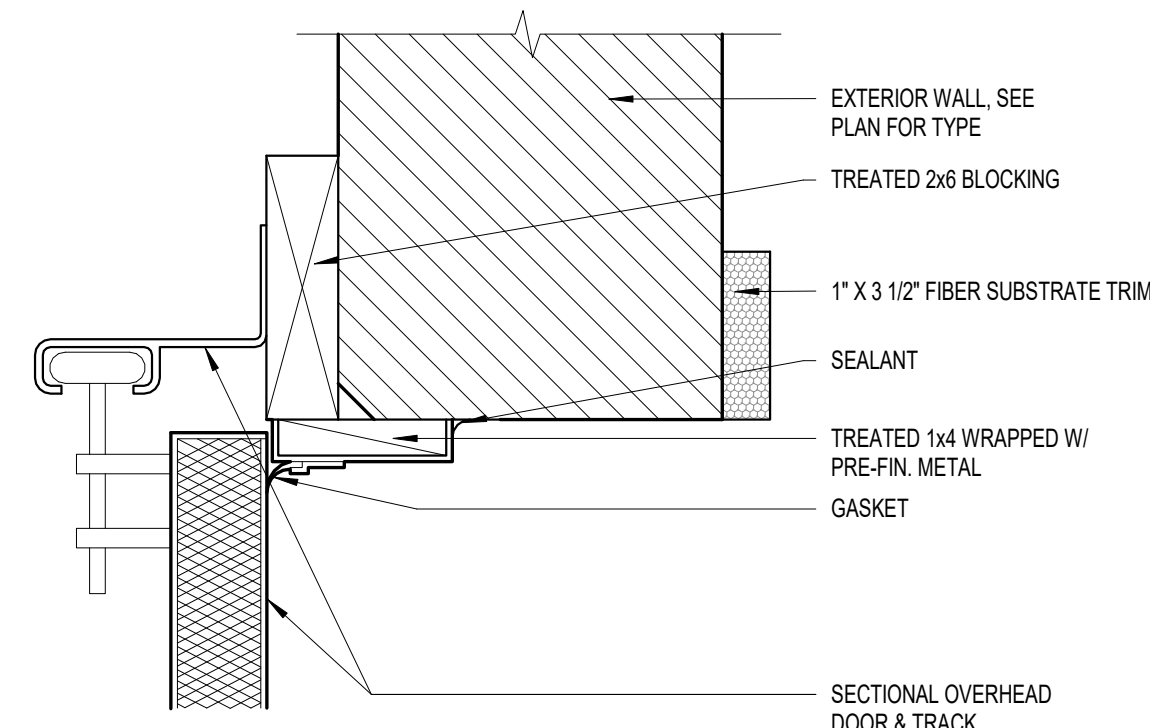
DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO:

A601

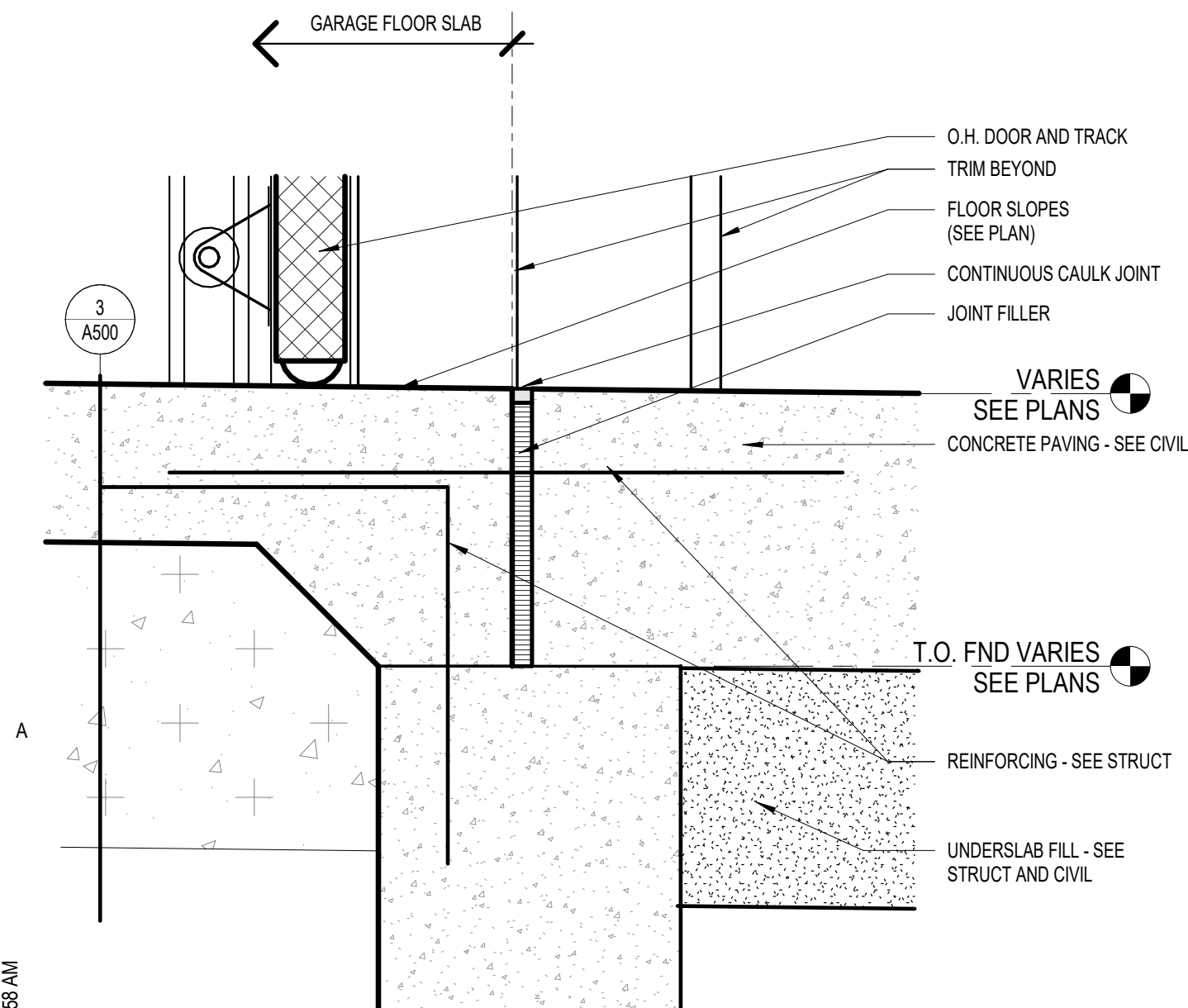
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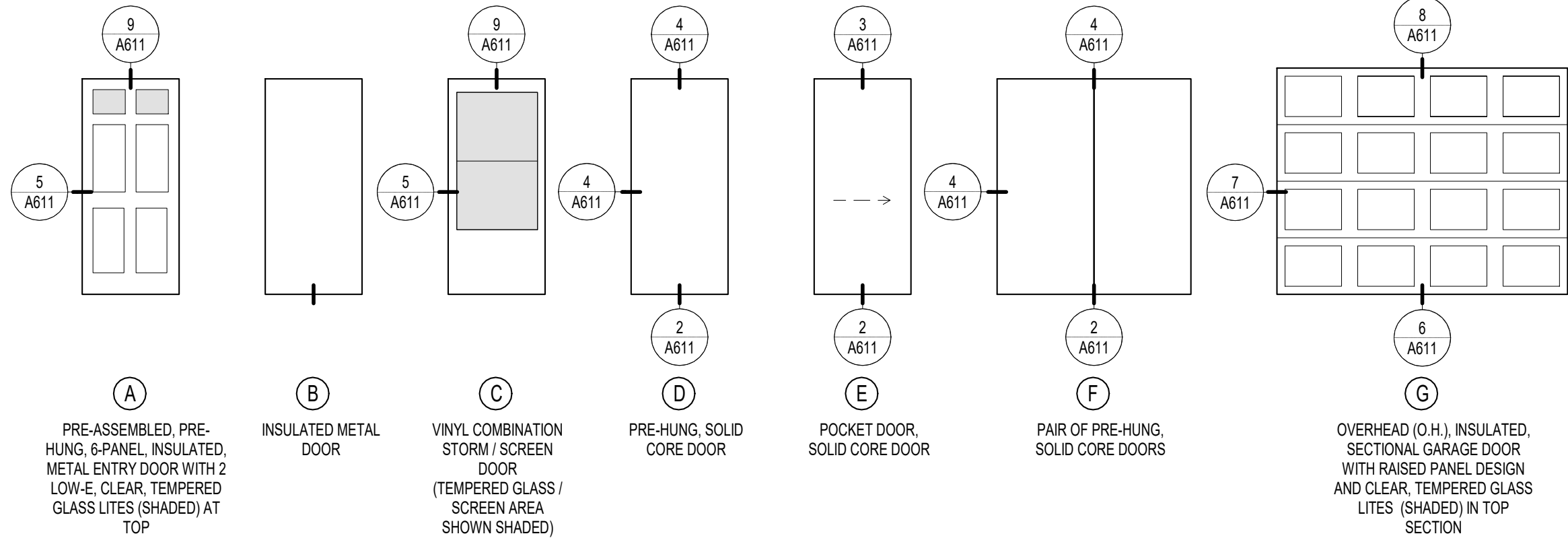
8 O.H. GARAGE DOOR HEAD
3" = 1'-0"



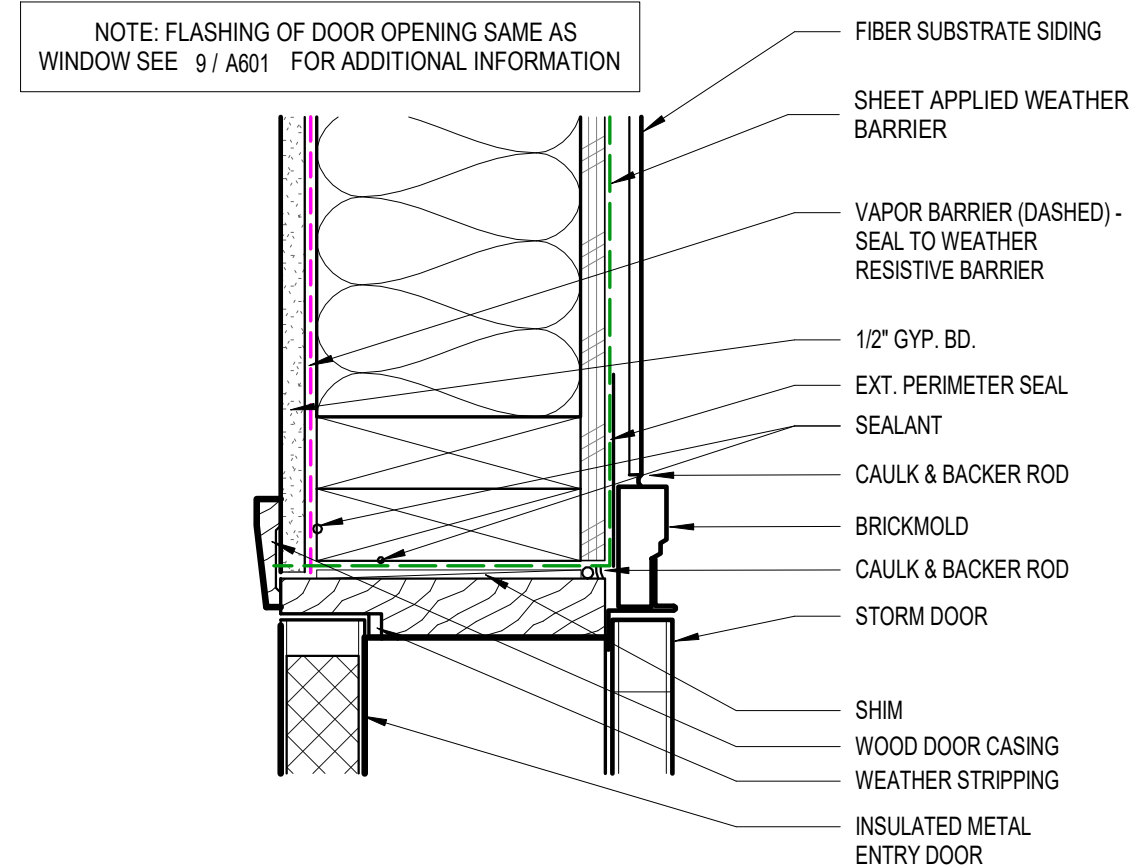
7 O.H. GARAGE DOOR JAMB
3" = 1'-0"



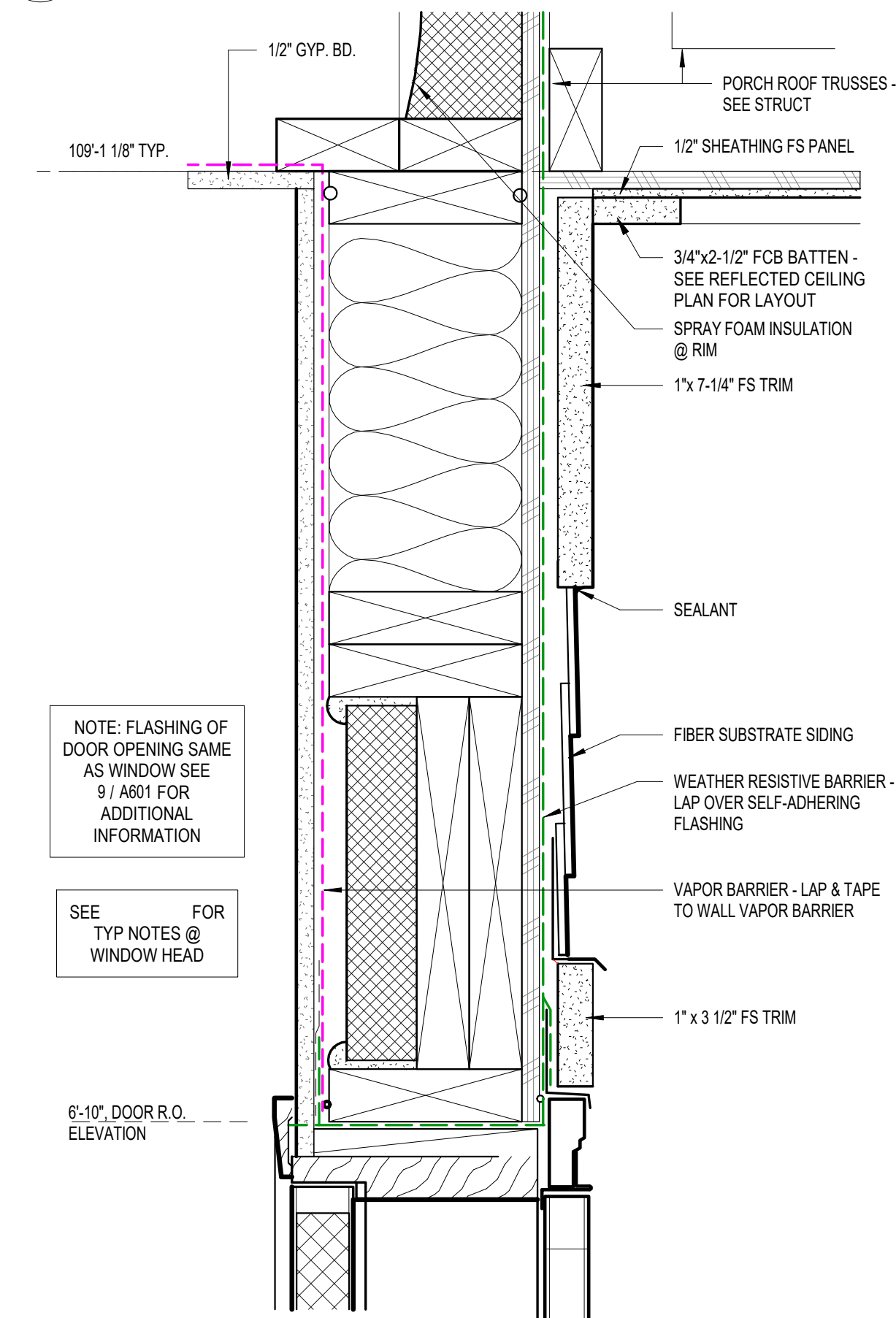
6 O.H. GARAGE DOOR SILL
3" = 1'-0"



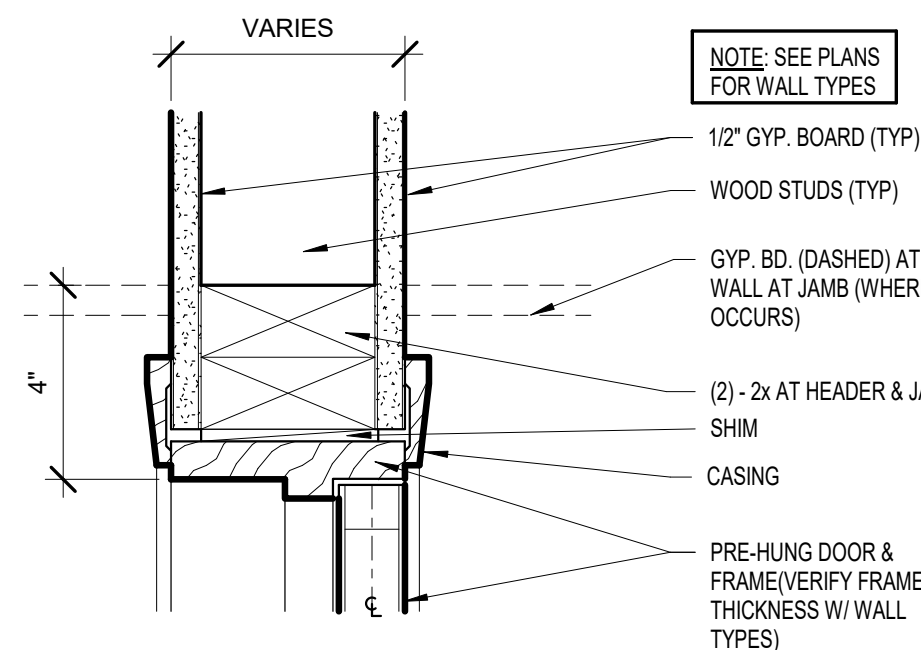
1 DOOR TYPES
1/4" = 1'-0"



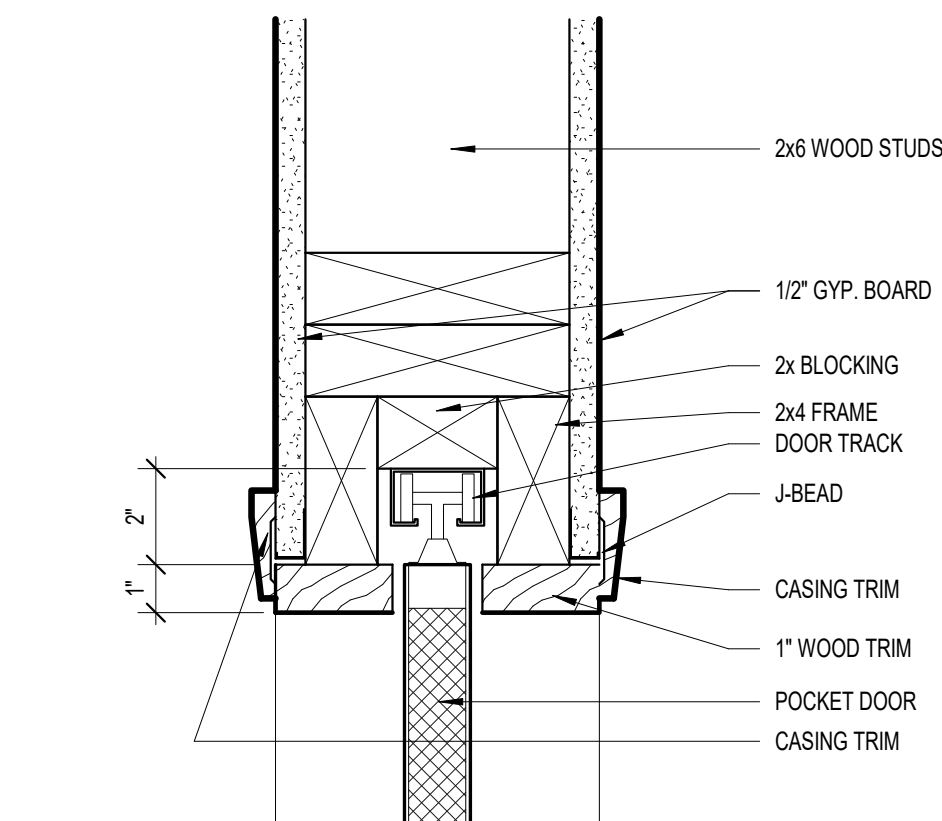
5 DOOR JAMB AT SIDING
3" = 1'-0"



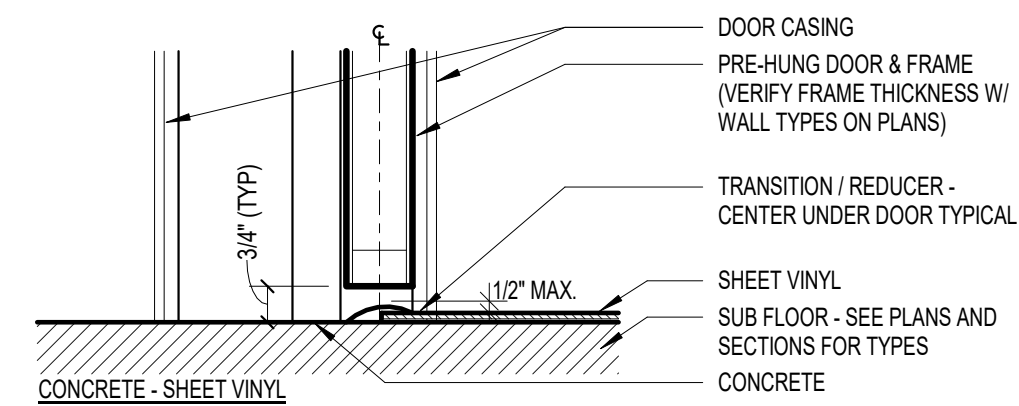
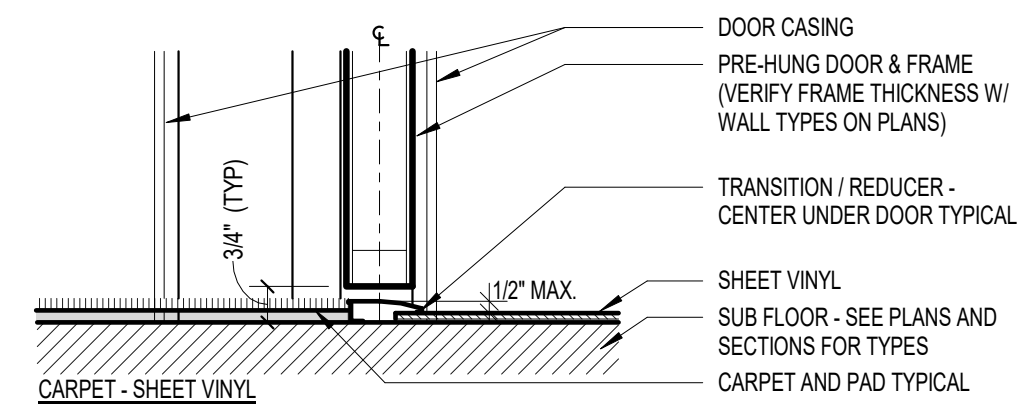
9 DOOR HEAD AT PORCH
3" = 1'-0"



4 TYP. INTERIOR DOOR JAMB (HEAD SIM.)
3" = 1'-0"



3 POCKET DOOR HEAD
3" = 1'-0"



2 FLOOR TRANSITIONS AT INTERIOR DOORS
3" = 1'-0"

DOOR SCHEDULE

NUMBER	TYPE	DOOR			FRAME TYPE	HARDWARE GROUP	COMMENTS
		LEAF QTY	WIDTH	HEIGHT			
10	A,C	1	3'-0"	6'-8"	PREHUNG	1	ENTRY
11	B	1	3'-0"	6'-8"	PREHUNG	3	GARAGE
20	D	1	3'-0"	6'-8"	PREHUNG	5	BATH
30	D	1	3'-0"	6'-8"	PREHUNG	5	BEDROOM
40	D	1	1'-6"	6'-8"	PREHUNG	4	
41	D	1	2'-6"	6'-8"	PREHUNG	4	
42	D	1	2'-8"	6'-8"	PREHUNG	4	
43	D	1	3'-0"	7'-0"	PREHUNG	4	LAUNDRY / UNFINISHED
50	F	2	4'-0"	6'-8"	PREHUNG	6	
51	F	2	5'-0"	6'-8"	PREHUNG	6	
60	E		3'-0"	6'-8"		8	
70	G		16'-0"	7'-0"		7	O.H. DOOR

DOOR SCHEDULE COMMENTS

- A. XXX
B. XXX



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:

CARVER COUNTY CDA

705 N. WALNUT STREET
CHASKA, MN 55318

CONSULTANT #1:

MATTSON MACDONALD YOUNG, INC.
105 5TH AVE. S, SUITE 100
MINNEAPOLIS, MN 55401

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

10/22/24 CONSTRUCTION DOCUMENTS
NO DATE ISSUED FOR

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature:

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

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PROJECT NAME:

FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW
WATERTOWN, MN

DRAWING TITLE:

DOOR DETAILS &
SCHEDULE

DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 240559
DRAWING NO:

A611