RENDERING IMAGE



PROJECT TEAM

CLIENT

D

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1

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MECHANICAL/ELECTRICAL

DESIGN/BUILD

STATE MAP



LOCATION MAP



2

FRANKLIN AVE. HOUSE 413 FRANKLIN AVE NW, WATERTOWN, MN 55388

SHEET INDEX

GENERAL

PROJECT TITLE SHEET G100 SURVEY

CIVIL

413 FRANKLIN AVE

WATERTOWN, MN

G001

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BUILDING & UNIT DATA

HOUSE PLAN - 4 BEDROOM, 2 BATH				
AREA				
	FINISHED	UNFINISHED		
FIRST FLOOR	1,046SF			
BASEMENT	768SF	278SF		
GARAGE		484SF		
TOTAL	1,814SF	762SF		





701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET CHASKA, MN 55318

CONSULTANT #1:

MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401

THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS 10/22/24 CONSTRUCTION DOCUMENTS DATE ISSUED FOR DATE REVISION NO I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota. Signature: Typed or Printed Name: ANDY MADSON Date: 10/22/2024 License Number: 50555 COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED. PROJECT NAME: FRANKLIN AVE. HOUSE 413 FRANKLIN AVE. NW WATERTOWN, MN DRAWING TITLE: PROJECT TITLE SHEET

DRAWN BY: XXX CHECKED BY: XXX PROJ. NO: 240559 DRAWING NO:

G001

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE DETAILED SPECIFICATIONS.
- 2. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
- ANY WORK LOCATED ON PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR CONSTRUCTION OF THE CITY OF WATERTOWN PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, CURRENT EDITION.
- 4. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, WARNING SIGNS, LIGHTS AND FLAGMEN AS PER THE CITY OF WATERTOWN PUBLIC WORKS REQUIREMENTS. COST SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. BARRICADES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE CIVIL PLANS ARE FOR INFORMATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS OF THESE ITEMS.
- 6. ALL DEBRIS AND REFUSE RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF-SITE AND DISPOSED OF PROPERLY AT THE CONTRACTOR'S EXPENSE.
- UPON COMPLETION OF WORK, THE CONTRACTOR SHALL PROVIDE A SURVEY OF COMPLETED WORK FOR AS-BUILT SUBMITTAL TO THE CITY OF WATERTOWN.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING FEATURES DESIGNATED TO REMAIN. ANY FEATURES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- 9. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL UNDERGROUND UTILITIES. UTILIZE THE ONE CALL EXCAVATION NOTICE SYSTEM OF "GOPHER ONE CALL" CALL 1-800-252-1166.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING. SEE SPECIFICATIONS FOR REQUIREMENTS.
- 11. THE BUILDING LOCATION AND LAYOUT SHALL BE ESTABLISHED FROM THE ARCHITECTURAL AND STRUCTURAL PLANS. THE ELECTRONIC SITE DRAWING FILE SHALL NOT BE USED TO SET THE BUILDING LOCATION AND/OR LAYOUT. THE CONTRACTOR SHALL VERIFY THE BUILDING LOCATION WITH SITE INTERFACES INCLUDING BUT NOT LIMITED TO UTILITIES, SIDEWALKS, EXISTING GRADES, AND PROPOSED GRADES. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTING THE WORK. NOTIFY THE ENGINEER IF FIELD CONDITIONS VARY FROM THE PLAN.
- 12. USE TEMPORARY CONSTRUCTION FENCING OR BARRIERS TO SECURE THE BUILDING SITE FOR PROTECTION OF PERSONS AND PROPERTY AS REQUIRED.
- 13. PROTECT WETLAND BOUNDARIES WITHIN THE SITE

REMOVAL NOTES

- EXISTING SITE INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY LOUCKS INC. PLYMOUTH, MN, DATED 08/28/24. ACTUAL FIELD CONDITIONS MAY VARY. VERIFY ALL FIELD CONDITIONS INCLUDING LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES AFFECTING THE SCOPE OF THIS CONTRACT.
- ALL HORIZONTAL AND VERTICAL INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY AND BOUNDARY SURVEY PREPARED BY LOUCKS. SEE SURVEY FOR BENCHMARK INFORMATION.
- 3. PROTECT ALL PROPERTY CORNERS. RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
- THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY MARKING AUTHORITY PRIOR TO CONSTRUCTION.
- SEE SHEET C101 FOR THE SEDIMENTATION AND EROSION CONTROL PLAN. INSTALL EROSION AND SEDIMENTATION CONTROL PRIOR TO DEMOLITION.
- REMOVE TOPSOIL WITHIN LIMITS OF CONSTRUCTION. STOCKPILE ON-SITE FOR USE IN AREAS NOT SCHEDULED FOR BUILDING, PAVEMENT, OR SIDEWALK, COORDINATE REMOVAL OF ANY EXCESS TOPSOIL WITH OWNER.
- MAINTAIN ALL COMMUNICATION AND UTILITY SERVICES TO ALL BUILDINGS WHICH REMAIN OPERATIONAL. COORDINATE OUTAGES WITH OWNER AND UTILITY COMPANIES.
- 8. SAWCUT EXISTING PAVEMENT WHICH ABUTS ALL NEW PAVEMENTS TO PROVIDE A STRAIGHT VERTICAL EDGE.
- 9. COORDINATE WITH OWNER ANY MATERIAL OR EQUIPMENT TO BE SALVAGED.
- 10. PROTECT BY WHATEVER MEANS REQUIRED ALL FENCES, SIGNS, STRUCTURES, DRIVES, SIDEWALKS, STREETS, BUSHES, TREES, ETC. WHICH ARE NOT DESIGNATED FOR REMOVAL, OR OUTSIDE THE LIMITS OF CONSTRUCTION.
- 11. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE INCURRED DURING CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, DAMAGE CAUSED BY SUBCONTRACTORS TO THE GENERAL CONTRACTOR. REPAIRS SHALL EQUAL OR EXCEED THE QUALITY OF EXISTING CONDITIONS.
- 12. ALL EXISTING FEATURES (I.E. FENCES, STONEWALLS, ETC.) LOCATED WITHIN THE PROJECT LIMITS THAT HAVE NOT ALREADY BEEN REMOVED (BY OTHERS) MUST BE REMOVED AND DISPOSED OF OFF-SITE PROPERLY BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE.
- 13. ALL EXISTING UTILITY LINES SHALL BE REMOVED. CONTRACTOR SHALL COORDINATE REMOVALS WITH UTILITY COMPANIES TO ENSURE LINES ARE PROPERLY DISCONNECTED PRIOR TO REMOVAL.
- 14. CONTRACTOR SHALL REMOVE AND/OR RELOCATE ALL ITEMS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS WHETHER SPECIFICALLY CALLED OUT BY NOTE OR NOT.
- 15. RELOCATE EXISTING IRRIGATION LINES AND APPURTENANCES THAT CONFLICT WITH PROPOSED CONSTRUCTION.

SITE PLAN NOTES

- 1. REFER TO THE LAYOUT SHEET, 1/C102, FOR DIMENSIONS AND LOCATION OF SITE FEATURES.
- 2. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP AND RAMP LOCATIONS.
- WHEN CONSTRUCTING BITUMINOUS PAVEMENT WITH AN UNSUPPORTED FREE EDGE, PROVIDE FORM-BOARD OR SAWCUT TO PROVIDE STRAIGHT VERTICAL EDGE.
- 4. THICKENED PAVEMENT EDGE SHALL BE PROVIDED AT ALL FREE EDGES. SEE X/C5XX.
- 5. THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES, AND FINISHED GRADES AS INDICATED ON THE PLANS. NO PONDING OF WATER WILL BE ALLOWED.
- 6. THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO MATCH EXISTING PAVEMENT GRADES AT TIE-IN POINTS. CUT CONTRACTION JOINTS AT EXISTING JOINT LOCATIONS.
- 7. CONTINUE ALL JOINTS THROUGH THE CURB.
- 8. SAW ALL CONCRETE CONSTRUCTION JOINTS, CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT.
- 9. REINFORCE ODD SHAPED PAVING PANELS WITH #3 BARS AT 24" EACH WAY. AN ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.
- 10. MATCH NEW CONSTRUCTION/CONTRACTION JOINTS WITH JOINTS IN ADJACENT CONCRETE.
- 11. ENSURE POSITIVE DRAINAGE AT ALL PAVEMENT REPLACEMENT LOCATIONS.

LAYOUT PLAN NOTES

- 1. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP AND RAMP LOCATIONS.
- 2. DIMENSIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, OUTSIDE FACE OF BUILDING. EDGE OF WALK, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED
- 3. ALL RADII ARE 5'-0" UNLESS OTHERWISE NOTED.

GRADING NOTES

- 1. BUILDING FINISHED FLOOR ELEVATION (FFE) OF 967.17 SHOWN ON GRADING PLAN CORRESPONDS TO ELEVATION 100'-0" ON ARCHITECTURAL PLAN SHEETS.
- 2. GRADES SHOWN ARE FINISH SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL MAKE APPROPRIATE DEDUCTIONS FOR VARYING SURFACES TO DETERMINE SUBGRADE ELEVATIONS.
- ALL EXISTING AND PROPOSED STRUCTURE ACCESS COVERS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
- 4. CONTRACTOR SHALL STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNER IF CONTAMINANTS ARE FOUND IN THE EXISTING SOILS.
- 5. SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
- 6. IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
- 7. SEE SHEET 1/C101 FOR THE SEDIMENTATION AND EROSION CONTROL PLAN.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- 9. UNLESS OTHERWISE NOTED, FINISH GRADE SHALL SLOPE AWAY FROM BUILDING WALL AT THREE PERCENT FOR A MINIMUM DISTANCE OF TEN FEET IN UNPAVED AREAS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.
- 11. REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOD, TREES, AND SHRUBS, ETC.
- 12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL MANHOLE STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- 13. ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 0.5%.
- 14. ALL PAVEMENT GRADES SHALL BE AS FOLLOWS: ASPHALT PAVEMENT - 1.5% MINIMUM, 4% MAXIMUM CONCRETE PAVEMENT - 1% MINIMUM, 4% MAXIMUM

EROSION CONTROL NOTES

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY NPDES PERMITS AND SHALL MAINTAIN SAID PERMITS AS REQUIRED BY THE REGULATORY AGENCY.
- 2. THE EROSION CONTROL PLAN INCLUDED IN THE SET SHALL ACT AS THE POLLUTION PREVENTION PLAN AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER PERMIT. FAILURE TO IMPLEMENT THE CONTROLS AND PRACTICES OUTLINED WOULD RESULT IN VIOLATION OF THE ENVIRONMENTAL PROTECTION ACT AND CLEAN WATER ACT AND IS GROUNDS FOR PENALTIES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES, NOTIFICATION, MAINTENANCE, MONITORING, AND RECORD KEEPING REQUIRED BY THE NPDES GENERAL PERMIT.
- 4. CONTRACTOR SHALL MAINTAIN AN INSPECTION AND MAINTENANCE PROGRAM FOR ALL EROSION CONTROL MEASURES. THE INSPECTIONS SHALL BE COMPLETED AT LEAST EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 0.5 INCHES OR MORE. THE MAINTENANCE PROGRAM SHALL REPAIR AND RESTORE ALL EROSION CONTROL MEASURE DEFICIENCIES. DOCUMENTATION OF THE INSPECTIONS, THE FINDINGS, AND CORRECTIVE ACTIONS SHALL BE MAINTAINED AT THE JOB SITE.
- 5. ESTABLISH EROSION CONTROL MEASURES AT THE BEGINNING OF CONSTRUCTION AND MAINTAIN DURING THE ENTIRE LENGTH OF CONSTRUCTION. AREAS WHICH ARE SUBJECT TO SEVERE EROSION AND OFF-SITE AREAS WHICH ARE ESPECIALLY VULNERABLE TO DAMAGE FROM EROSION AND/OR SEDIMENTATION ARE TO BE IDENTIFIED AND RECEIVE ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
- 6. AT THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL INSTALL CRUSHED STONE STABILIZED ENTRANCE AND EXIT DRIVE(S) TO REDUCE THE TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS. THE ENTRANCE/EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THE MAINTENANCE SHALL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS REQUIRE. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT USE ANY OTHER ACCESS TO THE SITE NOR ALLOW OTHERS TO USE ALTERNATE ACCESS POINTS.
- LOCATIONS OF STABILIZED CONSTRUCTION ENTRANCES INDICATED ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL ADJUST LOCATION AND SIZE OF ENTRANCES TO ACCOMMODATE CONSTRUCTION VEHICLES AND ACTIVITIES.
- 8. COORDINATE ALL LAND DISTURBING ACTIVITIES AND CONDUCT SO AS TO MINIMIZE THE SIZE OF THE AREA TO BE EXPOSED AT ANY ONE TIME AND MINIMIZE THE TIME OF EXPOSURE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHOULD BE AVOIDED. COORDINATE ALL LAND DISTURBING ACTIVITIES SO AS TO MINIMIZE OFF-SITE SEDIMENTATION DAMAGE. RESTABILIZE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION IS COMPLETED.
- 9. THE CONTRACTOR SHALL NOT DISTURB EXISTING VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION.
- 10. PERIODICALLY CLEAN OUT AND DISPOSE OF ALL SEDIMENT ONCE THE STORAGE CAPACITY OF THE DRAINAGE FEATURE OR STRUCTURE RECEIVING THE SEDIMENT IS REDUCED BY ONE-HALF. CLEAN OUT AND DISPOSE OF ALL SEDIMENT AT THE COMPLETION OF THE PROJECT.
- 11. PROVIDE ADDITIONAL ON-SITE PROTECTION, IN ADDITION TO THAT SHOWN SO THAT SEDIMENT IS NOT PERMITTED TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS OR ACCIDENTS.
- 12. SCHEDULE TEMPORARY SEEDING OPERATIONS IMMEDIATELY AFTER SITE GRADING WORK IS COMPLETE.
- 13. MAINTAIN TEMPORARY EROSION CONTROL DEVICES UNTIL PERMANENT FACILITIES ARE CONSTRUCTED AND FINAL STABILIZATION HAS OCCURRED.
- 14. REMOVE THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AND VERIFY THE CLEANING OUT OF ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, AND DITCHES ONCE FINAL STABILIZATION HAS OCCURRED.
- 15. TEMPORARY STOCKPILE LOCATIONS SHALL BE COORDINATED WITH THE OWNER.
- 16. PROVIDE SILT FENCE AROUND STOCKPILES DURING CONSTRUCTION TO PREVENT SEDIMENT RUNOFF FROM THE SITE.
- 17. PROVIDE EROSION CONTROL BLANKET ON ALL SLOPES 4 HORIZONTAL TO 1 VERTICAL OR STEEPER, AS SHOWN.
- 18. CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED CATCH BASINS WITHIN CONSTRUCTION LIMITS AND AS SHOWN.
- 19. KEEP THE EROSION AND SEDIMENTATION PLAN AND ALL DISCHARGE MONITORING REPORTS ON-SITE FOR THE DURATION OF CONSTRUCTION.
- 20. FABRIC SILT FENCE AND BIO-ROLLS SHALL BE CONSTRUCTED ACCORDING TO DETAIL 3/C501.
- 21. ALL SILT FENCES SHOWN ARE PROVIDED AS A GUIDE TO THE CONTRACTOR AS A MINIMUM LEVEL OF PROTECTION AGAINST EROSION RUNOFF. CONTRACTOR SHALL ADD, ADJUST, AND MAINTAIN SILT FENCE AND/OR SILT DIKES AS NEEDED TO PROTECT FROM EXCESS EROSION AND SEDIMENT RUNOFF FROM THE SITE.
- 22. THE CONTRACTOR MUST COMPLY WITH ALL NOISE AND DUST CONTROL ORDINANCES OF THE CITY OF WATERTOWN.
- 23. ALL EROSION CONTROL FEATURES SHALL BE KEPT IN WORKING ORDER. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED BY SOIL EROSION AND CONSTRUCTION EQUIPMENT AT OR BEFORE THE END OF EACH WORKING DAY OR AS DIRECTED BY THE INSPECTOR.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONTAINMENT DIKES OR OTHER PROTECTIVE MEASURES AROUND ALL ON-SITE FUELING AND CHEMICAL STORAGE AREAS
- 25. IN THE EVENT OF A RELEASE OF OIL OR HAZARDOUS SUBSTANCE, THE CONTRACTOR SHALL COMPLY WITH THE LOCAL, STATE AND FEDERAL REQUIREMENTS OF ENVIRONMENTAL QUALITY FOR NOTIFICATION, CONTAINMENT, INVESTIGATION, REMEDIAL ACTION AND DISPOSAL.
- 26. DIVERSION BERMS AND LEVEL TERRACES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND AS NECESSARY TO PROPERLY CONTROL SEDIMENT, EROSION, AND PROTECT ADJACENT PROPERTIES. DIVERSION AND LEVEL TERRACES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, AT ANY TIME THAT RAIN IS FORECAST, AND AS DIRECTED BY THE INSPECTOR.
- 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTAINING ERODED MATERIALS WITHIN THE SITE AND PREVENTING ERODED MATERIALS FROM ENTERING EXISTING AND NEW STORM SEWER SYSTEMS BY INSTALLING FABRIC SILT FENCES, STRAW BALE DIKES, OR OTHER APPURTENANCES AS NECESSARY IN ADDITION TO WHAT IS SHOWN ON THE DRAWINGS.

UTILITY NOTES

- COORDINATE INSPECTION AND TESTING FOR ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES. COMPLY WITH ALL LOCAL REQUIREMENTS AND CONDUCT ALL TESTS TO THE SATISFACTION OF THE LOCAL AUTHORITIES.
- ALL UTILITIES AND CONDUITS WITH EXCEPTION OF FIRE SERVICE LINES SHALL TERMINATE 2. 5' OUTSIDE THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- 3. ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE KEPT IN SERVICE AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE AUTHORIZED BY THE OWNER
- REPORT ANY DISCREPANCIES TO THE ENGINEER. RECONNECT ALL SERVICES NOT MARKED FOR REMOVAL OR AS DIRECTED BY THE OWNER.
- 5. REPAIR OF DAMAGED UTILITIES SHALL BE REPORTED THROUGH THE OWNER.
- CONTRACTOR SHALL IDENTIFY, FIELD VERIFY AND COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS AND UTILITY TIE-IN POINTS IN THE FIELD. REPORT CONFLICTS REQUIRING REDESIGN TO THE OWNER.
- DIMENSIONS TO PROPOSED UTILITIES ARE FROM THE CENTER OF STRUCTURE OR PIPE 7. TO OUTSIDE FACE OF THE EXISTING BUILDING.
- 8. REFER TO MECHANICAL PLANS FOR CONTINUATION OF UTILITIES INTO THE BUILDING.
- THE CONTRACTOR SHALL ADJUST TO FINISH GRADE ALL WATER AND GAS VALVE BOXES MANHOLES, AND OTHER APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SAID WATER, GAS AND EXISTING SEWERS AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- 10. 5-FOOT HORIZONTAL SEPARATION REQUIRED BETWEEN SANITARY SEWER AND POTABLE WATER LINES.

STORM SEWER

- THE CONTRACTOR SHALL VERIFY THE STRUCTURAL INTEGRITY OF EXISTING STORM STRUCTURES AT THE NEW PIPE TIE-INS FOLLOWING THE REMOVAL OF EXISTING PIPE AND CREATION OF NEW PIPE OPENINGS. CONTACT THE ENGINEER IF THE EXISTING STRUCTURES ARE STRUCTURALLY UNSTABLE
- STORM PIPE BEDDING PER 1/C502.
- INSTALL PERFORATED PVC RODENT GUARD END CAP AT ALL DRAIN TILE DAYLIGHT LOCATIONS.

WATER

- 1. ALL WATER LINES TO BE INSTALLED AT A MINIMUM OF 7' COVER DEPTH.
- 2. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP FOR THE WATER SYSTEM SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) AND THE NATIONAL FIRE PREVENTION ASSOCIATION (NFPA).
- IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM DRAIN PIPING, ADJUST THE WATER LINE DOWNWARDS IN SUCH A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATION ON PIPE DEFLECTION AND JOINT STRESS ARE NOT EXCEEDED.
- MAINTAIN A MINIMUM 6" VERTICAL SEPARATION AT ALL UTILITY CROSSINGS. POTABLE WATER LINES CROSSING BENEATH SANITARY SEWER SHALL HAVE A MINIMUM OF 18" SEPARATION.
- CONDUCT A PRESSURE TEST ON ALL WATER MAIN AND FIRE PROTECTION LINES TO THE SATISFACTION OF THE LOCAL APPROVAL AUTHORITY AND THE OWNER'S INSURANCE CARRIER.
- 6. WATER LINE BEDDING PER 1/C502.

SANITARY SEWER

- SANITARY SEWER PIPE BEDDING PER 1/C502.
- 2. PLUG ALL SANITARY SEWER STUB-OUTS.

GAS

- 1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND WORKMANSHIP FOR THE GAS SYSTEM SHALL BE IN ACCORDANCE WITH THE WATERTOWN CONSTRUCTION SPECIFICATIONS.
- 2. GAS PIPING SHALL BE LOCATED 4.33' MINIMUM BEHIND CURBING AND 5' MINIMUM FROM ALL OTHER UTILITIES.
- CONNECTION TO EXISTING MAIN AND THE VALVE SETTING WILL BE DONE BY UTILITY 3. PROVIDER. CONTRACTOR SHALL CONNECT TO THE VALVE. PROVIDE ADAPTERS AS REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF WATERTOWN 48 HOURS, MINIMUM, Δ PRIOR TO GAS LINE INSTALLATION.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE MN MUTCD, INCLUDING THE MOST CURRENT FIELD MANUAL. (AVAILABLE AT: HTTP://WWW.DOT.STATE.MN.US/TRAFFICENG)

LEGEND

CONSTRUCTION LIMITS SILT FENCE ----------------------- SWALE ------ WATER SERVICE ------>> SANITARY SERVICE -----> STORM SEWER · 🗸 ·

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN. EXCEPT AS MODIFIED BY THE PROJECT SPECIFICATIONS. (AVAILABLE AT :HTTP://WWW.DOT.STATE.MN.US/PRE-LETTING/SPEC/)



SALVAGE GRAVE

REMOVE WALK

4" CONCRETE WALK

6" AGGREGATE DRIVE

BITUMINOUS PAVEMEN



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CARVER COUNTY CDA

CLIENT ADDRESS

	THIS SQUAR ON FULL SIZI	E APPEARS 1/2" x 1/2" E SHEETS			
 NO	10/22/2024 DATE	CONSTRUCTION DOCUMENTS			
NO	DATE	REVISION			
I HEREBY CERTIFY that this plan, specifica- tion or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.					
SIGNAT	SIGNATURE: Jordan Calale				
TYPED	OR PRINTED NA	ME: <u>JORDAN CABAK</u>			
DATE: (0/22/2024	REG. NO.: <u>52249</u>			
COPYR	GHT 2024 BY LHB	INC. ALL RIGHTS RESERVED.			
	ANKLIN	IHOUSE			
413 WA ⁻	FRANKLI FERTOWI	N AVE NW N, MN 55388			
DRAWIN	IG TITLE:				

CIVIL NOTES & LEGEND

DRAWN BY: DPG CHECKED BY: JTC PROJ. NO: 240559 DRAWING NO:







701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

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 NO	10/22/2024 DATE	CONSTRUCTION DOCUMENTS ISSUED FOR		
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PROJEC	T NAME: ANKLIN	N HOUSE		
413 FRANKLIN AVE NW WATERTOWN, MN 55388				
drawin SIT	g title: E PLAI	N		

DRAWN BY: DPG CHECKED BY: JTC PROJ. NO: 240559 DRAWING NO:

C101





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CLIENT: CARVER COUNTY CDA

CLIENT ADDRESS

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FRANKLIN HOUSE				
WATERTOWN, MN 55388				
drawi SI	NG TITLE: TE PLAI	N		

DRAWN BY: DPG CHECKED BY: JTC PROJ. NO: 240559 DRAWING NO:

C102



File



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DRAWN BY: DPG CHECKED BY: JTC PROJ. NO: 240559 DRAWING NO:





File Path: ../240559/500 Drawings/Civil/240559 C501 DETAILS.dwg Plot Date: 2024/10/22 8:34:20 AM





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PROJECT NAME: FRANKLIN HOUSE
413 FRANKLIN AVE NW WATERTOWN, MN 55388
DRAWING TITLE:

CIVIL DETAILS

DRAWN BY: CHECKED BY: PROJ. NO: 240559 DRAWING NO:





PLA	<u>NT S</u>	<u>CHE</u>	DULE		
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	SPACING
SHRUBS					
< · >	AM	6	Aronia melanocarpa 'UCONNAM012' TM / Ground Hug Black Chokeberry	#2 CONT.	36" o.c.
	DL	6	Diervilla lonicera / Dwarf Bush Honeysuckle	#2 CONT.	48" o.c.
$\left(\cdot \right)$	PO	3	Physocarpus opulifolius `SMPOTW` TM / Tiny Wine Ninebark	#2 CONT.	48" o.c.
$\overline{\bullet}$	ST	4	Spiraea betulifolia `Tor Gold` TM / Glow Girl Birchleaf Spiraea	#2 CONT.	36" o.c.
	TD	2	Taxus x media 'Dark Green Spreader' / Yew	#5 CONT.	48" o.c.
PERENNIA	LS				
(•)	HS	5	Hosta 'Stained Glass' / Stained Glass Hosta	#1 CONT	30" o.c.
(+)	HA	2	Hosta x `Blue Angel` / Blue Angel Hosta	#1 CONT	42" o.c.
	НН	10	Hosta x 'High Society' / High Society Hosta	#1 CONT	15" o.c.
S.S	MS	9	Matteuccia struthiopteris / Ostrich Fern	#1 CONT	36" o.c.
SYMBOL		<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	
GROUND (COVERS				
		594 sf	Hardwood Mulch / See 1/L501	None	
KSS [238 sf	Rock Mulch / See 4/L501	None	
		5,922 sf	Turf Sod / See Spec 32 9223	with 4" Topsoil	

LANDSCAPE NOTES

GENERAL LANDSCAPE NOTES

- THIS DRAWING DOES NOT CONSTITUTE AN OFFICIAL SURVEY OF THE SITE. CONFIRM ALL LOCATIONS OF SURFACE AND SUB-SURFACE FEATURES BEFORE BEGINNING INSTALLATION. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONFIRM ALL QUANTITIES, SHAPES, AND LOCATIONS OF LANDSCAPE AREAS, AND ADJUST TO 2. CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
- 3. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH PLANT INSTALLATION.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MULCHES AND SOIL QUANTITIES TO COMPLETE THE WORK SHOWN IN THE DRAWINGS. VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- REFER TO SECTION 31 2323 FILL FOR SOIL REQUIREMENTS. DO NOT BEGIN PLANTING OPERATIONS IF SOIL CONDITIONS ARE NOT AS SPECIFIED.
- REMOVE FROM THE SITE ALL TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE IS NOT ALLOWED. THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- 7. STAKE TREE AND PLANTING BED LAYOUT IN-FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING OPERATIONS.

PROTECTIONS

- 8. AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES. SEE SHEET L500. KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO
- EXISTING FACILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. KEEP THE PROJECT SITE CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
- 10. PROVIDE AND MAINTAIN INLET AND PERIMETER EROSION CONTROL BMPS AS SPECIFIED ON CIVIL SHEETS.
- 11. ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION WILL BE RESTORED WITH SOD UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR TURF RESTORATION REQUIREMENTS.

PLANT MATERIAL 12. PLANT TREE ROOT BALLS FLUSH WITH FINAL GRADE AND THE TOP OF ROOT FLARE

- EXPOSED, PER PLANTING DETAILS. 13. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ACCEPTED UNLESS APPROVED IN WRITING
- BY THE LANDSCAPE ARCHITECT. 14. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE
- DEEMED UNSATISFACTORY. 15. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY
- 16. HEEL IN AND WATER ANY PLANT STOCK NOT PLANTED WITHIN 24 HOURS OF DELIVERY UNTIL
- 17. REFER TO SPECIFICATIONS FOR WARRANTY REQUIREMENTS AND OTHER PLANTING ACCESSORIES.

MAINTENANCE AND CARE

- 18. BEGIN PLANT MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. 19. MAINTENANCE INCLUDES WATERING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING
- PLANTS IN A PLUMB POSITION. 20. REFER TO SPECIFICATIONS FOR FULL INSPECTION, MAINTENANCE, AND WARRANTY REQUIREMENTS.

BID ALTERNATES 21. SEE SPECIFICATION SECTION 01 2300. PROVIDE SEPARATE, PER UNIT COSTS FOR THE FOLLOWING BID ALTERNATES:

ALT. 1 - FRONT WALK ALT. 2 - REAR PATIO

ALT. 3 - DRIVEWAY



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STOCK", ANSI-Z60. LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.

WARNING			
OCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. <u>CALL BEFORE DIGGING</u>			
MINNESOTA ONE-CALL SYSTEM 1-800-252-1166			
REQUIRED BY			

REQUIRED DI MN STATUTE 216D

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FRANKLIN HOUSE

413 FRANKLIN AVE NW WATERTOWN, MN 55388

DRAWING TITLE:

LANDSCAPE PLAN

DRAWN BY: KAT CHECKED BY: LAM PROJ. NO: 240559 DRAWING NO:

L101



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PLAN	IT S	<u>CHEI</u>	DULE		
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	SPACING
<u>SHRUBS</u>					
(·)	AM	2	Aronia melanocarpa 'UCONNAM012' TM / Ground Hug Black Chokeberry	#2 CONT.	36" o.c.
	DL	2	Diervilla Ionicera / Dwarf Bush Honeysuckle	#2 CONT.	48" o.c.
PERENNIA	LS				
(+)	HA	3	Hosta x `Blue Angel` / Blue Angel Hosta	#1 CONT	42" o.c.
SYMBOL		<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	
GROUND (COVERS				
$\begin{array}{c} A \\ P \\ A \\$		496 sf	Hardwood Mulch / See 1/L501	None	
		5,696 sf	Turf Sod / See Spec 32 9223	with 4" Topsoil	

SHEET NOTES

1. REFER TO NOTE 21 ON L101 FOR ALTERNATE INFORMATION.

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DRAWING TITLE:

WARNING

LOCATION OF ALL UNDERGROUND

UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.

CALL BEFORE DIGGING

MINNESOTA

ONE-CALL SYSTEM

1-800-252-1166

REQUIRED BY

MN STATUTE 216D

LANDSCAPE ALTERNATES

DRAWN BY: KAT CHECKED BY: LAM PROJ. NO: 240559 DRAWING NO:

L102

- NOTES:
- 1. TREE PROTECTION FENCE MUST BE MAINTAINED UNTIL COMPLETION OF WORK.
- 2. THE FENCE SHALL BE LOCATED NO CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE. MODIFIED TREE PROTECTION ZONE (TPZ) REQUIRES PRIOR APPROVAL.
- 3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT CONSTRUCTION, A PROTECTIVE LAYER OF MULCH AT A
- MINIMUM DEPTH OF 12 INCHES FOR VEHICLE ACCESS.4. NO TREE PRUNING SHALL BE DONE EXCEPT BY MPRB PRUNING PERMIT.
- NO STORAGE OF MATERIALS OR OPERATION OF EQUIPMENT MAY TAKE PLACE INSIDE OF THE TREE PROTECTION ZONE.





IF CONSTRUCTION VEHICLES MUST PASS OVER ROOT ZONES, THE CONTRACTOR MUST EITHER:

- 1. CONSTRUCT ROOT SYSTEM BRIDGES WITH STEEL PLATE SUPPORTED ON WOOD TIMBERS PLACED RADIALLY TO THE TREE TRUNK.
- OR

2.PLACE A 6 INCH LAYER OF WOODCHIP MULCH OVER A TYPE III GEOTEXTILE (MnDOT 3733).

OTHER VEGETATION PROTECTION MEASURES (MnDOT 2572.3A12)



- 1. WHEN DESIGNATED IN THE PLAN OR DIRECTED BY THE ENGINEER, PRIOR TO EXCAVATION, ALL TREE ROOTS WILL BE CLEANLY CUT BY A VIBRATORY PLOW OR OTHER APPROVED BOOT CUTTER
- PLOW OR OTHER APPROVED ROOT CUTTER. 2. THE TREE ROOTS WILL BE CUT CLEANLY TO THE
- MAXIMUM DEPTH NECESSARY FOR CONSTRUCTION. 3. IMMEDIALTLY, AND CLEANLY CUT DAMAGED AND
- EXPOSED ROOTS. 4. ROOT ENDS EXPOSED BY EXCAVATION ACTIVITIES SHALL BE IMMEDIATELY COVERED WITH A 6" LAYER

CLEAN ROOT CUTTING

OF ADJACENT SOIL.

(MnDOT 2572.3A2)



TREE ROOT PROTECTION NOT TO SCALE

Js/L∕ 126 File

 REFER TO TREE PROTECTION SPECIFICATIONS SECTION 02 4101 FOR ALLOWABLE DISTURBANCE DISTANCES AND MINIMUM BORE DEPTHS FOR UTILITY CONSTRUCTION ADJACENT TO TREES.



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DRAWING TITLE: TREE PROTECTION DETAILS

WATERTOWN, MN 55388

PROJECT NAME:

FRANKLIN HOUSE

 Iaws of the State of Minnesota.

 SIGNATURE:

 TYPED OR PRINTED NAME:

 LYDIA MAJOR

 DATE:
 10/22/2024

 REG. NO.:
 46911

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- 2. "BOXING" IS ONLY NECESSARY ON THE PLANTS THAT HAVE ENCRICLING ROOTS WITH DIAMETERS







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l HER tion o my di Licen laws o SIGNAT	I HEREBY CERTIFY that this plan, specifica- tion or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.			
TYPED	OR PRINTED NA	ME: LYDIA MAJOR		
DATE: <u>1</u>	0/22/2024	REG. NO.: <u>46911</u>		
COPYRI	GHT 2024 BY LHB	, INC. ALL RIGHTS RESERVED.		
	NAME: ANKLIN	I HOUSE		
413 WA ⁻	FRANKLI FERTOWI	N AVE NW N, MN 55388		
DRAWING TITLE:				

DRAWN BY: KAT CHECKED BY: LAM PROJ. NO: 240559 DRAWING NO:



– ADJACENT GROUNDCOVER TYPES TO BE FLUSH ACROSS STEEL EDGER (SEE GRADING PLAN)

- 4" POWDERCOATED BLACK STEEL EDGER; STAKE 24" O.C.

GROUNDCOVER TYPE 2 (SEE PLANS FOR AREAS)



STRUCTURAL NOTES

Unless noted otherwise on the plans and/or in the details, these notes shall apply. If there are discrepancies between the plans/details and these notes, the contractor shall conform to the more stringent requirements, unless clarified with the Structural Engineer of Record (SER) prior to work.

MATERIAL STRENGTHS

Reinforcing Steel

Deformed Bars – ASTM A615, Gr. 60, Fy = 60 ksi Epoxy Coating for Reinforcing Steel – ASTM A775

Concrete

- f 'c = compressive strength in 28 days 4,000 psi unless noted otherwise 5,000 psi for basement wall footings 3,000 for piers and post footings
- Structural Lumber 2x lumber - #2 Hem-Fir or Spruce Pine Fir (SPF graded by NLGA) Treated lumber - #2 Southern Yellow Pine or equal Laminated Veneer Lumber (LVL) E = 2,000,000 psi minimum
 - $F_b = 2,600 \text{ psi minimum}$

DESIGN LOADS Roof

	Dead load	
	Concentration of the second se	17 psf (7 psf top chord + 10 psf bottom chord)
Floors	Snow load	Ground snow load = 50 psf
110010	Dead load	
		20 psf (10 psf top chord + 10 psf bottom chord)
	Live loads	
	Typical	40 psf
	Habitable attics and sleeping areas	30 psf
	Stairs	40 psf
Wind		

115 mph (3 second gust, ultimate) Exposure B, I = 1.0

DESIGN CODES

Minnesota Residential Building Code (2020) International Residential Code (2018)

TEMPORARY BRACING

Contractor is responsible for bracing, without overstressing, all structural elements as required at all stages of construction until completion of this project. Provide temporary lateral support for all walls until walls are adequately braced by permanent structure. Shore foundation walls retaining earth until floor framing and basement slab are in place. Use caution when operating equipment adjacent to foundation walls.

GENERAL SOIL NOTES

The structure has been designed using a presumptive load-bearing value of 2000 psf in accordance with Table R401.4.1 of the 2018 IRC on virgin soil or compacted granular fill for footings. Owner has elected not to do soil

Remove all top soil, uncompacted fill, or other poor soil from the construction area. Slope the site to drain away from the building.

Install gutters and downspouts.

Install drain tile.

Backfill with granular soils.

FOOTINGS/FOUNDATIONS

All footings are to be formed. All stumps, roots and debris must be removed from the soil to a depth of at least 12" below the surface of the ground in the area occupied by the building. Footings shall be placed on virgin soil or compacted granular fill.

Wall footings are cast-in-place concrete with continuous reinforcing placed 3" clear of bottom and 2" clear at top and sides. Wall footings are centered under walls and column footings under columns.

Wall footings shall be a minimum of 10" thick with a 4" projection each side of wall. Reinforce with 2 - #4 continuous All fasteners and hangers in contact with treated lumber shall be G185 hot dipped galvanized bottom bars.

Column footings shall be a minimum of 12" thick, with plan dimensions as shown on drawing. Reinforce with #4 bottom bars at 8" on center each way.

Provide 30 bar diameter lap at splices and full crossing lap at corners and intersections. Tie all reinforcing in place. Set footing reinforcing on chairs or masonry brick to obtain 3" clearance from bottom of footing. Maintain minimum frost depth of 42" for all exterior footings.

Footing elevations, if shown on the plan, indicate top of footing.

Top of footing shall be placed 8" below the top of slabs on grade, or placed to maintain frost depth, whichever is deeper. Frost depth is 42" typically and 60" at isolated, unheated spaces. Frost depth is measured from finished grade to the bottom of the footing.

Step footings in a uniform manner using a 2:1 horizontal to vertical slope.

Cast dowels in footing for foundation walls above. Dowels shall be the same quantity, size, and spacing as the vertical wall reinforcing. Dowels shall be 30" long and extend to 3" clear of bottom of footing.

Contractor shall be responsible for implementing hot weather concrete requirements per ACI 305 and cold weather concrete requirements per ACI 306. Shore all foundation walls appropriately before backfilling and compacting.

Where foundation walls support unbalanced load on opposite sides of the building, such as a daylight basement, the Provide solid vertical blocking at all joist spaces below engineered lumber columns. Provide rim board shall be attached to the sill with a 20 gage metal angle clip at 24" on center, with five 8d nails per leg, or a foundation at lower levels below engineered lumber columns. connector supplying 230 pounds per lineal foot capacity.

Foundations supporting wood shall extend at least 6" above the adjacent finished grade. At foundation endwalls, provide perpendicular full-height blocking at 24" on center in the first three joist spaces. Glue

and nail to joists and subfloor. Attach to sill plate with 2 - USP MP5 clips or equal. The contractor shall verify the location of all existing underground utilities and tanks prior to beginning excavation.

CONCRETE

Provide ready-mixed concrete per ASTM C94. Portland cement shall be ASTM C150, Type I. Use only one brand of cement throughout the work. Provide concrete aggregates meeting the requirements of ASTM C33. Maximum aggregate size shall be 3/4" for grade beams and slabs. Water shall be clean, free of deleterious amounts enhancers as necessary to utilize stud columns shown on plan. of acids, alkalis, or organic materials, and shall be considered potable. Provide admixtures to reduce water content, All prefabricated wood trusses shall be furnished in accordance with designs prepared by a

provide air-entrainment, or alter the quality of the concrete to meet the job conditions. Reinforce poured concrete walls with #4 at 12" on center horizontally and #4 at 12" center vertically each face.

Place reinforcing 2" clear to outside face and 1" clear to inside face of concrete wall. Provide #4 x 4'-0" long (equal legs) horizontal reinforcing corner bars at 12" on center at all corners of wall and 3 - # Trusses shall be designed for top and bottom chord superimposed dead and live loads as inc 4 vertical support bars.

CONCRETE CONTINUED

All wall openings larger than 12" shall have 2 - #5 at all sides extending 2'-0" beyond each 5 x 4'-0" diagonal bars at each corner of opening.

Wall reinforcing shall be continuous through columns and pilasters. Provide full development and splice lengths per Concrete Reinforcing Steel Institute (CRSI) All concrete exposed to weather, freeze-thaw conditions or de-icing chemicals shall contain 5 Slump sha 3 as follows:

ASTM C143
3" - 4"
3" - 5"
3" - 4"

Slabs on grade	3" - 4'
Structural slabs, beams	3" - 4'
ncrete shall not be laid when	the temp

Concrete s nperature of the outside air is below 40 degrees Fahre methods are used during construction to prevent damage to the concrete. All materials used shall be free of snow and ice.

Wood beams pocketed into concrete shall be provided with a 1/2" air space on top, end, an wood or steel plates are used. Concrete shall not bear permanently on wood members.

SLABS ON GRADE

All slabs on grade shall be reinforced with 3.0 pounds per cubic yard polypropylene fiber rei Slabs on grade adjacent to foundation walls retaining earth shall be a minimum of 3 1/2" th Construction and/or control joints should occur at a maximum of 10'-0" OC at exterior slabs maximum of 12'-0" OC at interior slabs on grade.

Construction and/or control joints should be laid out in a rectangular pattern with long to sho equal to 1.5 and with no re-entrant corners. Control joints for slabs on grade should be saw-cut as soon as concrete can accept it withou

Do not cut control joints in structural slabs or topping slabs unless specifically directed. All control/construction joints must be continuous and not staggered or offset. Control joints shall be cleaned and sealed for curing purposes as soon as possible. Verify floor finishes and control/construction joint locations with owner and architect.

DIMENSION LUMBER

Design assumes lumber is free of significant splits and checks, and contractor will visually inst All lumber must be grade stamped and provide the following information: grading agency, grade of lumber, species or species grouping or combination designation, rules under which and condition of seasoning at time of manufacture.

Lumber grading rules and wood species must conform to Voluntary Product Standard PS 20-Department of Commerce. Grading rules must be from an agency certified by the Board of Lumber Standards Committee.

All lumber must be seasoned to a moisture content of 19% or less, with the indication of "S All lumber must be protected from the elements and stored on site per suppliers requirement Sills and all other lumber in contact with concrete or masonry and within 8" of finished grade treated wood. In crawl spaces or unexcavated areas within the building foundation, wood s treated for joists within 18" of exposed ground and/or girders within 12" of exposed ground Preservative treated wood shall be in accordance with the American Wood Protection Associa Sill plates to be bolted to foundation wall with 5/8" diameter anchor bolts at 4'-0" on center extend 13" minimum into solidly grouted foundation wall. Each sill plate to have a minimum located not more than 12 inches or less than 4 1/2 inches from each end of the plate sectior slightly crushing plate.

All walls shall have a single bottom plate and double top plate.

Frame exterior walls with 2 x 6 studs @ 16" OC.

Frame interior bearing walls with 2 x 6 studs @ 16" OC.

Frame interior non-load bearing walls with 2 x 4 studs @ 16" OC. At typical openings, provide a Minimum of: 2 bearing (trimmer or jack) studs and 1 full-heig

noted to be $2 - 2 \times 6$ up to 4'-0" span and $2 - 2 \times 8$ from 4'-0" to 6'-0" span. Beams and headers must be fully supported across the width of the member. Bear each end columns noted on plan with a minimum 3" bearing length.

Beams or headers made of 2 - 2x's with 1/2" spacer shall be nailed together with 16d nails center along each edge, typical for each lumber ply.

Joists shall bear the full width of supporting members (stud wall, beams, etc.). Provide solid vertical blocking at all joist spaces below wood columns. Provide matching colu

lower levels below columns comprised of 3 or more studs.

Beams and joists not bearing on supporting members shall be framed with prefabricated jois Spacing of bridging for joists shall not exceed 8'-0".

Double all joists under parallel partitions.

Minimum nailing shall be in accordance with Table R602.3(1) of the 2018 IRC unless noted of All plywood and OSB shall be installed per American Plywood Association standards, includir adhesive for fastening to floor joists.

Performance requirements, adhesive bond performance, panel construction, workmanship, marking, and moisture content of Wood-based Structural-use Panels must conform to Volur 2-10 published by the Department of Commerce.

ENGINEERED LUMBER

All engineered LVL, LSL, and PSL lumber must meet the minimum design properties listed in section of these notes.

Protect engineered lumber from the elements and store per manufacturer recommendations All engineered lumber intended for exterior use must be PSL lumber with Wolmanized present meet the minimum design properties as listed in the Material Strengths section of these note All fasteners and hangers in contact with treated engineered lumber must be G185 hot dippe Engineered lumber headers and beams must have a minimum 3" length of bearing at each e across their width.

Fasten multiple plies of engineered lumber beams or headers together as per manufacture n minimum of 2 rows of of TrussLOK, SDS or SDW screws spaced at 16 " OC, maximum, stage Screws to penetrate all plies of multi-ply members.

Engineered lumber beams and joists not bearing on supporting members must be framed with hangers.

WOOD TRUSSES

Responsibilities of the contractor, building designer, truss manufacturer, and truss designer a "TPI 1-2014 National Design Standard for Metal Plate Connected Wood Truss Construction." Truss supplier shall notify SER of any proposed revisions to the layout indicated on this plan. structural design will not be allowed without prior written approval by the SER.

Verify allowable bearing locations for girder trusses with SER prior to final design stage. Pro

licensed in the state in which the project is located, using the design loads and span condition designing gable end truss webs for perpendicular to face wind loads.

Truss manufacturer shall provide a truss layout and certified truss drawings prior to beginnir Loads section of these notes.

Truss supplier shall design trusses to support additional dead load from, but not limited to, leader systems, piping, cable trays, ductwork and similar items. Contractor to coordinate wi as required. General contractor to verify location and magnitude of all such loads with truss fabrication of trusses.

See architectural plans for attic draft stop locations and design roof trusses accordingly. Live load deflection of roof trusses shall be limited to 1/240 of the span.

Live load deflection of floor trusses shall be limited to 1/480 of the span.

Design trusses for top chord bearing or bottom chord bearing as shown on drawings. Truss configuration, pitch, overhang, etc. shall be indicated on the architectural drawings. Spacing of roof trusses shall not exceed 24" on center.

Spacing of floor trusses shall not exceed 19.2" on center.

Lumber for wood trusses shall be in accordance with manufacturer's recommendations. Truss plates shall be galvanized to a minimum of G60. Treated lumber truss plates shall be of G185.

		•		F	
odgo of oppning with 2 - #	WOOD TRUSSES CONTINUED	ACI	AMERICAN CONCRETE	FAB	FABRICATE
edge of opening with 2 - #	superimposed loads. Provide hip-sets, dormers, and piggy-back trusses as required.	ADD	INSTITUTE ADDENDUM	FD FDN	FLOOR DRA FOUNDATIC
or ACI 318 requirements.	Truss manufacturer to specify if roof sheathing needs to be applied before placing "over-framing". Provide metal framing anchors at truss bearing to mechanically fasten truss to bearing wall or supporting member as	ADDN'L		FFE	FINISH FLO
5% - 7% entrained air.	shown in details.	AFF AISC	ABOVE FINISH FLOOR AMERICAN INSTITUTE OF STEEL	FLR FRT	FIRE RETAR
	No cutting, notching, or modifications of trusses will be allowed without the manufacturer's written approval.	ΑΙ Τ	CONSTRUCTION AI TERNATE	FS FT	FAR SIDE
	Locations of bridging and bracing at truss compression and tension members must be indicated by the truss	AMT	AMOUNT	FTG	FOOTING
	Contractor shall provide permanent and temporary diagonal, lateral, and cross bracing in accordance with the	ANCH ANSI	ANCHOR, ANCHORAGE AMERICAN NATIONAL	FV	FIELD VERI
renheit, unless approved	publication "BCSI 1-18 Building Component Safety Information, Guide to Good Practice for Handling, Installing and Bracing of Metal Plate Connected Wood Trusses" by the Truss Plate Institute and Wood Truss Council of America and		STANDARDS INSTITUTE	G	
	as otherwise necessary. For spans longer than 60ft., contractor shall hire a structural engineer to design the	ARCH ASCE	ARCHITECT(URAL) AMERICAN SOCIETY OF	GA GALV	GAGE, GUA GALVANIZE
nd sides unless treated	necessary bracing. Permanent bottom chord bracing and web bracing shall be located as shown on the truss drawings and shall be		CIVIL ENGINEERS	GC	GENERAL C
	minimum 2 x 4 with 2 - 16d nails to end walls and trusses, lapping two truss spaces at splices.	ASD ASTM	ALLOWABLE STRESS DESIGN AMERICAN SOCIETY FOR	glulam GYP	GLUED LAM GYPSUM
	WALL SHEATHING		TESTING AND MATERIALS		
inforcement.	See architectural drawings and structural shear wall plans for wall sheathing type.	AWPB	AMERICAN WOOD PRESERVATIVE BUREAU	HDR	HEADER
nick. s on grade and at a	Wood panel wall sheathing must be minimum 15/32 " Performance Category panels rated per APA for the spacing of the supporting members. A minimum 32/16 span rating is recommended	AWS	AMERICAN WELDING SOCIETY	HGR	HANGER
s on grade, and at a	Wood panels must meet APA standard PS 1 or PS 2 and Exterior or Exposure 1 grade.	В		hk Horiz	HOOK
hort side ratio less than or	Fasten wood panel wall sheathing with 8d nails (.131" diameter x 2 1/2") spaced at 4" OC at supported edges and 12" OC at intermediate supports. Leave an 1/8" gap at all end and edge joints to allow for expansion. Stagger end joints	BD	BOARD	HS	HEADED ST
ut raveling.	of panels.	BFE	BOTTOM OF DECK ELEVATION BOTTOM OF FOOTING	HT	HEIGHT
	Gypsum wall sheathing must be a minimum of 1/2" thick fastened with 6d cooler or wallboard nails at 4" OC to all framing members.	DCDE	ELEVATION		
	Panels must be continuous over two or more spans and the long panel dimension may be either perpendicular or	BGBE	ELEVATION	IBC	INTERNATIO
	parallel to supports. All edges must be blocked.	BLDG	BUILDING	סו	
	Refer to plan and notes for any special shear wall conditions.	BLKG	BLOCK	ID IF	INSIDE DIA INSIDE FAC
nspect during installation. mill number or name,	FLOOR SHEATHING	BM BOT OB BTM	BEAM		INCH
n graded, where applicable,	Floor sheathing must be minimum 23/32 " Performance Category tongue and groove panels rated per APA for the	BP	BASE PLATE	INFO	INFORMATI
)-10 as published by the	Provide panels meeting APA standard PS 1 or PS 2 and Exposure 1 grade.	BPCE	BOTTOM OF PILE CAP ELEVATION	,	
Review of the American	Panels must be continuous over two or more spans and the long panel dimension must be perpendicular to supports.	BS	BOTH SIDES	JBE	JOIST BEAR
S-Dry" on the grade stamp.	Fasten sheathing with construction adhesive and 8d common hails (0.131" diameter x 2 1/2") spaced at 6" OC at supported edges and 12" OC at intermediate supports.	BTWN	BETWEEN	JST(S)	JOIST(S)
nts.	Locate nails a minimum of 3/8 " from edge of panel.	C		JI	JOINT
shall be preservative	Leave an 1/8" gap at all end and edge joints to allow for expansion.	C		K	
d.	ROOF SHEATHING	CFS	COLD-FORMED STEEL	K KLF	KIP(S) KIPS PER LI
r maximum. Bolts to	Roof sheathing must be minimum 19/32" Performance Category panels rated per APA for the spacing of the supporting members. A minimum 40/20 span rating is recommended. Provide panel clips, one between each	CIP	CAST IN PLACE	KSI	KIPS PER SO
m of 2 bolts with one bolt	support, for supports spaced greater than 16" OC.	CJP	CONTROL JOINT CONTROL JOINT PENETRATION	L	
on. Use 1/8" x 2" washers,	Provide panels meeting APA standard PS 1 or PS 2 and Exterior or Exposure 1 grade. Panels must be continuous over two or more spans and the long panel dimension must be perpendicular to supports.	CL	CENTERLINE	L	ANGLE
	Fasten roof sheathing with 8d common nails (0.131" diameter x 2 1/2") spaced at 6" OC at supported edges and 12"	CMU	CONCRETE MASONRY UNIT	LLH	LIVE LOAD
	Locate nails a minimum of 3/8" from edge of panel.				
abt line at a llandour wat	Leave an 1/8" gap at all end and edge joints to allow for expansion.	COL	COLUMN	LRFD	LOAD RESIS
ynt king stud. Headers not	Refer to APA publication N335P "Proper Installation of APA Rated Sheathing for Roof Applications."	COMP	COMPOSITE	1 51	
d on all support studs or		CONN	CONNECTION	LJL	OR LONG-SI
(.162" x 3 1/2") at 16" on	Nails shall conform to ASTM F1667 including supplement S1.	CONSTR	CONSTRUCTION	LT LT WT	
	All nails are common type unless noted otherwise	CONT	CONTINUOUS	LVL	LAMINATED
lumns to foundation at	Prefabricated steel connectors noted on drawings refer to Simpson Strong-Tie hangers, clips, post bases, hold downs,	DBA	DEFORMED BAR ANCHOR	LWC	LIGHT WEIG
ict hangers	etc. with specified product number.	DBE	DECK BEARING ELEVATION	М	
ist hangers.	Install prefabricated metal connectors in strict accordance with the manufacturer 's recommendations.	DBL	DOUBLE DEFLECTION	Μ ΜΔς	MOMENT
athamiaa	Church we Weed Carewa (CIVC) noted in the durwings refer to high strength, sold tagging wood errows. The table	DEMO	DEMOLITION	MATR'L	MATERIAL
ng the use of construction	below defines SWS by diameter with a list of acceptable manufacturer products. The following criteria apply:		DETAIL DOUGLAS FIR	MAX MB	MAXIMUM
ad or equal	Minimum Yield Strength: 160,000 psi (carbon steel)	DIA	DIAMETER	MC	MISCELLAN
dimensions, tolerances,	Powder-coated or otherwise treated for corrosion protection.		DIAGONAL DIMENSION(S)	MECH ME77	MECHANICA
ntary Product Standard PS	Acceptable products by Size (length varies per manufacturer)	DL	DEAD LOAD	MFR	MANUFACT
	Type Noted Acceptable Products	DN DWG(S)		MIN	MINIMUM
n the Material Strengthe	#12 SWS FastenMaster TimberLOK, FastenMaster HeadLOK, Simpson SDWH	DWL(S)	DOWEL	MO	MASONRY C
n the Material Strengths	Ledger SWS FastenMaster FlatLOK, 5", Simpson SDWS-22600DB, MiTek MSWH5	F		MSR MTI	MACHINE S
S.	Install Structural Wood Screws per manufacturer's recommendations.	(E) or EXIST	EXISTING	MWFRS	MAIN WIND
tes.	All substitute products for use as structural wood screws must be submitted to the SER for approval.	E F∆	EAST		SYSTEMS
bed galvanized or equal.		EDBE	EXISTING DECK BEARING	N	
ena ana de supported fully	Adhesive and mechanical anchors shall be provided and installed in strict accordance with the manufacturer 's	FF	ELEVATION FACH FACF	N NDS	NORTH
recommendations, with a	Instructions.	EL OR ELEV	ELEVATION		SPECIFICAT
gereu on each face.	Concrete adhesive anchoring system to be Hill H1 H1-H1-200 (A or K). Mechanical anchoring system for concrete and grouted CMU to be HILTI Kwik Bolt 1 or 3 or Simpson STRONG-BOLT 2				NOT IN CON
e matching columns to	expansion anchors or Hilti Kwik HUS-EZ (CRC) or Simpson Titen HD screw anchors.	ENG	ENGINEER	NS	NEAR SIDE
vith prefabricated metal	Alternate anchoring system may be submitted for approval. Reference drawings for additional information and requirements.	EOR	ENGINEER OF RECORD		NOT TO SC
		EQ	EQUAL	INVIC	NORMAL WI
	1	EQUIP	EQUIPMENT	0	
shall follow the publication		EXP	EXPANSION	OD	ON CENTER OUTSIDE D
". Revisions that affect the		EXT	EXTERIOR	OF	
				OPNG	OPENING
ovide metal bearing				OSB	ORIENTED S
Professional Engineer				013	UVERSIZED
ions indicated, including	ARROWS INDICATE APPROXIMATE PLAN VIEW				
ing construction.	ROOF FRAMING				
nancaleu III UIE DESIGN	PLAN ROOF DIRECTION, TIFICAL				
sprinkler lines, and rain		<u>ст</u>		EV]
s supplier and SER prior to	FIRST FLOOR		TUCIURAL SHEET IND	_^	
·	FIRST FLOOR WALL BRACING	SHEET		I	
	FIRST FLOOR	NUMBER	SHEET NAME		
	FRAMING PLAN	S101	FOUNDATION PLANS	1	
		S102	FRAMING PLANS		
		S111	WALL BRACING PLANS		
	FOUNDATION BASEMENT BASEMENT WALL	S201	WALL BRACING DETAILS	1	
e galvanized to a minimum					1

STRUCTURAL ABBREVIATIONS

STRUCTURAL PLAN VIEW DIAGRAM NOT TO SCALE

	Р
ICATE OR FABRICATOR	PAF
DATION	PC
H FLOOR ELEVATION	PE
R	PERIM
RETARDANT TREATED	PL
SIDE	PLF
or foot	PLK
ING	PROJ
VERIFY	PSF
	PSI
CUACE	PSL
, GUAGE	
	ΓV
	0
UM	QTY
	-
	R
ER	RAD
iER	RD
	REBAR
	REINF
ED STUD(S)	REQ'D
OW STRUCTURAL SECTION	KEV

IONAL BUILDING	

RO

SCHED

SEC

SER

SHT

SIM

SJI

SL

SOG

SPEC

SPF

SQ

SS

SSL

STD

STIFF

STL

SUPP

SWS

SYP

Т&В

T & G

TBE

TC

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TEBE

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UNO

VER

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w

w/

WD

WP

WWF

STRUCT

E DIAMETER	
FACE	

MATION

BEARING ELEVATION

PER LINEAL FOOT PER SQUARE INCH

OAD LEG HORIZONTAL LEG VERTICAL TUDINAL RESISTANCE FACTOR

IATED STRAND LUMBER NG-SLOTTED WEIGHT

NATED VENEER LUMBER F WEIGHT CONCRETE

INE BOLT LLANEOUS CHANNEL NICAL NINE ACTURER LLANEOUS NRY OPENING NE STRESS RATED

WIND FORCE RESISTING

NAL DESIGN FICATION **V** CONTRACT

TO SCALE 1AL WEIGHT CONCRETE

NTER DE DIAMETER DE FACE

NTED STRAND BOARD

POW(D)ER-ACTUATED FASTENER PRECAST PROFESSIONAL ENGINEER PERIMETER PLATE POUNDS PER LINEAL FOOT PLANK PROJECTION POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARALLEL STRAND LUMBER POST TENSION PHOTOVOLTAIC

QUANTITY RADIUS ROOF DRAIN REINFORCING BAR REINFORCE(D), (ING) REQUIRED REVERSE(D) OR REVISE(D), REVISION ROUGH OPENING SOUTH OR STEP SCHEDULE SECTION STRUCTURAL ENGINEER OF RECORD SHEET SIMILAR STEEL JOIST INSTITUTE SNOW LOAD SLAB ON GRADE SPECIFICATION SPRUCE/PINE/FIR SOUARE STAINLESS STEEL SHORT-SLOTTED STANDARD STIFFENER STEEL STRUCTURE OR STRUCTURAL SUPPORT STRUCTURAL WOOD SCREWS SOUTHERN YELLOW PINE TOP AND BOTTOM TONGUE AND GROOVE TOP OF BEAM ELEVATION TENSION CONTROL TOP OF DECK ELEVATION TOP OF EXISTING BEAM ELEVATION TOP OF EXISTING DECK ELEVATION TOP OF EXISTING FOOTING ELEVATION TEMPORARY TOP OF EXISTING SLAB

ELEVATION TEWE TOP OF EXISTING WALL ELEVATION TOP OF FOOTING ELEVATION TGBE TOP OF GRADE BEAM ELEVATION THRU THROUGH TOP OF LEDGE ELEVATION TPCE TOP OF PILE CAP ELEVATION TOP OF PIER ELEVATION TOP OF PLANK ELEVATION TRUSS PLATE INSTITUTE TRANS TRANSVERSAL TRTD TREATED THICKENED SLAB TOP OF SLAB ELEVATION TOP OF WALL ELEVATION TYPICAL UNEXC UNEXCAVATED UNLESS NOTED OTHERWISE VERIFY VERIFY IN FIELD VERT(S) VERTICAL(S)

WEST OR WIDE FLANGE

WELDED WIRE FABRIC

WITH

WOOD

WORK POINT



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CONSULTANT #1: MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401



		THIS SQUARE A ON FULL SIZE SI	PPEARS 1/2"x1/2" HEETS	
				_
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	NO	DATE		
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I HI rep sup Enç	EREBY ort was pervisior gineer u	CERTIFY that prepared by m n and that I am inder the laws c	this plan, specification, e or under my direct a duly Licensed Profes of the State of Minnesot	or sional a.
l HI rep sup Enç	EREBY ort was pervisior gineer u	CERTIFY that prepared by m n and that I am inder the laws o	this plan, specification, e or under my direct a duly Licensed Profes of the State of Minnesot	or sional a.
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I HI rep sup Enç Sign Type Date	EREBY ort was pervision gineer u ature: ed or Print e:10/ PYRIGHT	CERTIFY that prepared by m n and that I am inder the laws of ted Name: ISAAC (22/2024	this plan, specification, e or under my direct a duly Licensed Profes of the State of Minnesot E. BLIEK License Number: 61184 C. ALL RIGHTS RESERVED.	or sional a.
I HI rep sup Eng Sign Type Date CO PR	EREBY ort was pervision gineer u nature: ed or Print et or Print PYRIGHT OJECT N	CERTIFY that prepared by m n and that I am inder the laws of ted Name: ISAAC (22/2024 T 2024 BY LHB, INC AME: NKLIN	this plan, specification, e or under my direct a duly Licensed Profes of the State of Minnesot E. BLIEK License Number: 61184 C. ALL RIGHTS RESERVED.	or sional a.

WATERTOWN, MN

DRAWING TITLE: STRUCTURAL NOTES

DRAWN BY: MAD CHECKED BY: IEB PROJ. NO: 2421 DRAWING NO:





1 FOUNDATION PLAN

PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):

- 1. SEE DETAILS 2/S201 AND 3/S201 FOR TYPICAL SLAB ON GRADE JOINTS.
- 2. SEE ARCHITECTURAL DRAWINGS FOR SLOPED SLABS AND FLOOR DRAINS.
- 3. MAINTAIN MINIMUM OF 42" COVER (FINAL GRADE ELEVATION TO BOTTOM OF FOOTING) AT ALL EXTERIOR WALL FOOTINGS. STEP FOOTINGS AS NECESSARY TO MAINTAIN COVER AND TO CLEAR UNDERGROUND UTILITIES/SLOPED SLABS. SEE DETAIL 1/S201 FOR TYPICAL STEPPED FOOTING. APPROXIMATE LOCATIONS MARKED THUS: " ぃー ー ぃ ".
- 4. SUMP PIT LOCATIONS AND ADJACENT FOUNDATIONS TO BE COORDINATED w/ MECHANICAL.





	FOOTING SCHEDULE			
MARK	SIZE	REINFORCEMENT		
F2	2'-0" x 2'-0" x 12" THICK	(2) - #5 x 1'-6" EACH WAY BOTTOM		
F3	3'-0" x 3'-0" x 12" THICK	(3) - #5 x 2'-6" EACH WAY BOTTOM		
Fa	16" x 12" THICK CONTINUOUS	(2) - #5 CONTINUOUS		
Fb	20" x 12" THICK CONTINUOUS	(2) - #5 CONTINUOUS		
Fc	24" x 12" THICK CONTINUOUS	(2) - #5 CONTINUOUS		

_	CONCRETE WALL REINFORCEMENT SCHEDULE			
	REINFORCEMENT	WALL TYPE	MARK	
	SEE DETAIL	6" CONCRETE	CW6	
FACE)	#5 @ 18" OC EACH WAY (INSIDE	8" CONCRETE	CW8a	
E FACE)	#5 @ 18" OC EACH WAY (OUTSID	8" CONCRETE	CW8b	
FACE)	#5 @ 18" OC EACH WAY (INSIDE	10" CONCRETE	CW10	
E FACE)	#5 @ 18" OC EACH WAY (INSIDE	12" CONCRETE	CW12	

SCHEDULE NOTES (TYPICAL UNLESS NOTED OTHERWISE):

- 1. PROVIDE VERTICAL DOWELS TO FOUNDATION TO MATCH SIZE AND SPACING OF WALL REINFORCEMENT. PROVIDE STANDARD HOOK WHERE REQUIRED.
- 2. PROVIDE CLASS B LAP ON DOWELS IN WALL.
- 3. PROVIDE DOWELS TO WITHIN 3" OF BOTTOM OF FOOTING.

S101 1/4" = 1'-0"

FOUNDATION DIMENSION PLAN

PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):

4

1. SEE ARCHITECTURAL DRAWINGS FOR OPENING DIMENSIONS.



5



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		THIS SQUARE A ON FULL SIZE S	PPEARS 1/2"x1/2" HEETS				
	1 NO	10/22/2024 DATE	CONSTRUCTION DOCUMENTS				
	NO	DATE	REVISION				
I H rep sup Eng	EREBY ort was pervisior gineer u	CERTIFY that prepared by m n and that I am inder the laws o	this plan, specification, or le or under my direct a duly Licensed Professional of the State of Minnesota.				
Sigr	nature:	Ŧ					
Тур	ed or Prin	ted Name: ISAAC	CE. BLIEK				
Date	e: <u>10/</u>	22/2024	License Number: 61184				
CC	PYRIGH	Г 2024 ВҮ LHB, IN	C. ALL RIGHTS RESERVED.				
PR F	PROJECT NAME: FRANKLIN AVE. HOUSE						
4 W	413 FRANKLIN AVE. NW WATERTOWN, MN						
DR	DRAWING TITLE:						

DRAWN BY: MAD CHECKED BY: IEB PROJ. NO: 24211 DRAWING NO:







1 FIRST FLOOR FRAMING PLAN

PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):

- 1. MARKS THUS: " - " INDICATE SPAN DIRECTION OF FRAMING MEMBERS. SEE WOOD FLOOR/ROOF FRAMING SCHEDULE FOR SIZE AND SPACING OF MEMBERS.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATION.
- BEAM/HEADER MUST BE SUPPORTED.
- 4. DASHED WALLS INDICATE BEARING WALLS SUPPORTED ON THIS FRAMING LEVEL.
- 5. EXTERIOR WALLS SHALL BE 2 x 6 STUDS @ 16" OC. INTERIOR BEARING WALLS SHALL BE 2 x 4 OR 2 x 6 STUDS @ 16" OC. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WALL TYPES.
- 6. MARKS THUS: "
- 7. SEE WALL BRACING PLANS FOR ADDITIONAL BRACED WALL FRAMING, CONNECTIONS, AND DETAILS.

r-		Ν	(W1)	\ (W:		()
(¥1) (¥1)		BEDROOM 2 [166]			BATH 7	<u>INEN</u> 199
					HALL 5	
Î	STAIR 8					Ļ
			PANTRY 182	TRY CLOSET		
L/		(W1)			(W2)	
		KITCHEN			LIVING 2	
	(W2)	DINING			(W1)	
			_			
	L	W1				



WOOD BEAM/BEARING HEADER SCHEDULE						
MARK	SIZE					
W1	W1 (2) - 2 x 8					
W2 (3) - 2 x 8						
W3	(3) - 1 3/4" x 9 1/4" LVL					

SCHEDULE NOTES (TYPICAL UNLESS NOTED OTHERWISE):

- " INDICATES TOP FLUSH BEAM/HEADER (TOP OF BEAM = TOP OF FLOOR/ROOF FRAMING).
- 2. " F " INDICATES BOTTOM FLUSH BEAM/HEADER (BOTTOM OF BEAM = BOTTOM OF FLOOR/ROOF FRAMING).

3. HEADERS IN NON-LOAD BEARING WALLS ARE NOT INDICATED ON PLAN.

OOD				
ARK	SIZE	SPACING	HA	NGER
-1	2 x 8 JOISTS	16" OC		-
2	16" OPEN WEB WOOD FLOOR TRUSSES	19.2" OC (MAX)	BY S	SUPPLIER

WOOD COLUMN SCHEDULE								
MARK	SIZE	COLUMN BASE						
WA	6 x 6 REALPOST SPF	SIMPSON ABU66Z POST BAS w/ 5/8" DIA x 6" SIMPSON TITEN HD	SE I					



ROOF FRAMING PLAN

PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):

- 1. MARKS THUS: " / INDICATE PREFABRICATED WOOD ROOF TRUSSES @ 24" OC. ANCHOR EACH TRUSS TO DOUBLE TOP PLATE WITH (1) - SIMPSON H2.5 HURRICANE ANCHOR (OR EQUAL) AT EACH BEARING LOCATION. SEE ARCHITECTURAL DRAWINGS FOR ROOF SLOPES.
- 2. MARKS THUS: " - - " INDICATE VALLEY SET TRUSSES @ 24" OC. SEE STRUCTURAL NOTES FOR INFORMATION REGARDING HIP-SETS, DORMER FRAMING, AND PIGGY-BACK TRUSSES, ETC.
- 3. TRUSS SUPPLIER TO SPECIFY IF ROOF SHEATHING SHALL BE APPLIED PRIOR TO PLACING "OVER-FRAMING". TRUSS SUPPLIER SHALL NOTIFY STRUCTURAL ENGINEER OF ANY PROPOSED REVISIONS MADE TO LAYOUT INDICATED ON THIS PLAN.
- 4. TRUSS SUPPLIER SHALL PROVIDE ALL HANGERS NECESSARY FOR TRUSS-TO-TRUSS CONNECTIONS.
- 5. VERIFY ALLOWABLE BEARING LOCATIONS FOR GIRDER TRUSSES WITH STRUCTURAL ENGINEER PRIOR TO FINAL DESIGN STAGE. PROVIDE METAL BEARING ENHANCERS AS NECESSARY TO UTILIZE STUD POSTS SHOWN ON PLAN.
- 6. REFER TO ARCHITECTURAL DRAWINGS FOR ROOF TRUSS BEARING ELEVATION.
- ADDITIONAL INFORMATION.
- 8. EXTERIOR WALLS SHALL BE 2 x 6 STUDS @ 16" OC. INTERIOR BEARING WALLS SHALL BE 2 x 4 OR 2 x 6 STUDS @ 16" OC. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WALL TYPES.
- 9. MARKS THUS: "





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	THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS						
		10/22/2024					
	NO	DATE	ISSUED FOR				
	NO	DATE	REVISION				
rep sup Enç Sian	I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.						
Туре	ed or Prir	ited Name: ISAAC	E. BLIEK				
Date	e: <u>10</u>	/22/2024	License Number: 61184				
CO	COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.						
PRI F	PROJECT NAME: FRANKLIN AVE. HOUSE						
4 ⁻ W	413 FRANKLIN AVE. NW WATERTOWN, MN						
DR	AWING 1	TITLE:					

FRAMING PLANS

DRAWN BY: MAD CHECKED BY: IEB PROJ. NO: 24211 DRAWING NO:







				W	ALL BRACING	S SCHE	DULE - BASE	MENT		
BRACED WALL LINE		А		В	С		1		2	
BRACED WALL PANEL	A-1	A-2	A-3	N/A,	N/A,	1-1	N/A,	2-1	N/A,	Ν
END CONDITION	1	N/A	3	CIP CONC	CIP CONC	1	CIP CONC	1	CIP CONC	C
HOLDOWN REQUIRED	NO	NO	NO	WALL	WALL	NO	WALL	NO	WALL	N N

\$545" 24 S11-101" FOR TYPICAL PLAN NOTES.

S111

1

	WALL BRACING SCHEDULE - FIRST FLOOR														
BRACED WALL LINE		А		В	(2		1			2		3	2	1
BRACED WALL PANEL	A-1	A-2	A-3	B-1	C-1	C-2	1-1	1-2	1-3	2-1	2-2	3-1	3-2	4-1	4-2
END CONDITION	1	N/A	3	1	1	1	1	N/A	1	1	1	1	1	1	1
HOLDOWN REQUIRED	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO

Α







S111 1/4" = 1'-0"

² FIRST FLOOR WALL BRACING PLAN

PLAN NOTES (TYPICAL UNLESS NOTED OTHERWISE):

- 1. "BWL" INDICATES BRACED WALL LINE.
- 2. "BWP" INDICATES BRACES WALL PANEL.
- 3. BRACING PLAN IS BASED ON PRESCRIPTIVE REQUIREMENTS OF IRC R602.10.
- 4. SEE DETAILS FOR TYPICAL CONSTRUCTION CONDITIONS AT BRACED WALL PANELS.
- 5. BRACED WALL PANELS ARE LOCATED SO THAT NO END PANEL IS MORE THAN 10'-0" FROM ANY BUILDING CORNER AND DISTANCE BETWEEN PANELS DOES NOT EXCEED 20'-0".
- 6. WOOD SILL PLATES AT ALL EXTERIOR WALLS AND ANY INTERIOR BRACED WALL PANELS SHALL BE ANCHORED TO FOUNDATION WALLS OR SOLID SLABS AS FOLLOWS: A. ANCHOR BOLTS SHALL BE 1/2" DIAMETER AND SHALL EXTEND INTO FOUNDATION WALL OR SLAB
 - A MINIMUM OF 7".
- B. PROVIDE A NUT AND WASHER FOR ALL ANCHOR BOLTS. C. ANCHOR BOLTS SHALL BE SPACED A MAXIMUM OF 6'-0" FT OC.
- D. PROVIDE (2) BOLTS MINIMUM PER PLATE SECTION.
- E. LOCATE BOLTS 12" MAXIMUM AND 6" MINIMUM FROM END OF ANY PLATE SECTION.
- 7. BRACED WALL PANEL NAILING TO SUPPORTING MEMBERS: A. NAIL SHEATHING TO WALL STUDS, TOP PLATES, BOTTOM PLATE AND ALL INTERSECTING FRAMING MEMBERS WITH 6d NAILS.
- B. SPACE NAILS 6" OC AT ALL SHEATHING PANEL EDGES.
- C. SPACE NAILS 12" OC AT ALL SHEATHING PANEL INTERIOR.
- D. ALL SHEATHING PANEL JOINTS SHALL OCCUR OVER FRAMING MEMBER OR HORIZONTAL BLOCKING.
- 8. BRACING PLAN IS ONLY VALID FOR SITES WITHIN WATERTOWN WITH ULTIMATE WIND SPEED OF 115 MPH AND WIND EXPOSURE CATEGORY B.
- 9. BRACING METHOD = CS-WSP. (WALL LINE 2, BWP 2-1 IS DESIGNED AS GB)
- 10. ALL EXTERIOR SHEATHABLE SURFACES OF WALLS SHALL BE SHEATHED WITH 1/2" MINIMUM WOOD STRUCTURAL PANELS, INCLUDING ABOVE AND BELOW OPENINGS AND AT GABLE WALLS.
- 11. ALL PANELS SHOULD HAVE 1/2" MINIMUM GYPSUM WALL BOARD INSTALLED ON INTERIOR FACE. 1. PROVIDE BRACED WALL PANELS AS SHOWN ON PLAN: 2. PROVIDE BLOCKING AT TOP OF BRACED WALL PANELS AS SHOWN IN DETAILS.
- 3. PROVIDE STEMWALL REINFORCING AS SHOWN IN DETAILS.
- 4. BRACED WALL PANELS SHALL EXTEND FULL HEIGHT OF GABLE AT GABLE ENDS.





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CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET CHASKA, MN 55318

CONSULTANT #1: MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401



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1 NO	10/22/2024 DATE	CONSTRUCTION DOCUMENTS					
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report wa supervisio Engineer Signature: _ Typed or Pri	report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.						
Date: 1	0/22/2024	License Number: 61184					
COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED. PROJECT NAME: FRANKLIN AVE. HOUSE 413 FRANKLIN AVE. NW WATERTOWN, MN							
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Typed or Pr Date:1 COPYRIGI PROJECT FRA	inted Name: ISAAC 0/22/2024 HT 2024 BY LHB, INC NAME: NAME:	C E. BLIEK License Number: 61184 C. ALL RIGHTS RESERVED.
Typed or Pr Date: 1 COPYRIGI PROJECT FRA 413 F WATI	inted Name: ISAAC 0/22/2024 HT 2024 BY LHB, INC NAME: NAME: NAME: RANKLIN ERTOWN,	CE. BLIEK License Number: 61184 C. ALL RIGHTS RESERVED. AVE. HOUSE AVE. NW MN
Typed or Pr Date:1 COPYRIG PROJECT FRA 413 F WATI DRAWING DET	INTERNATION	CE. BLIEK License Number: 61184 C. ALL RIGHTS RESERVED. AVE. HOUSE AVE. NW MN

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S201

3

NOTE 1 BRACING METHOD = CS-WSP

ALL SHEATHABLE SURFACES OF EXTERIOR WALLS SHALL BE SHEATHED WITH WOOD STRUCTURAL PANELS, INCLUDING ABOVE AND BELOW OPENINGS AND AT GABLE WALLS. PROVIDE BRACED WALL PANELS AS SHOWN ON PLAN. ٠ PROVIDE BLOCKING AT TOP AND BOTTOM OF BRACED WALL PANELS AS SHOWN ON

- ATTACHED DETAILS.
- CONNECT SHEATHING AT BRACED WALL PANELS AS NOTED BELOW. ALL OTHER SHEATHING SHALL BE CONNECTED AS INDICATED ON TABLE R602.3(1)
- BRACED WALL PANEL NAILING TO SUPPORTING MEMBERS •
- BOTTOM PLATE AND ALL INTERSECTING FRAMING MEMBERS WITH 6D NAILS.
- SPACE NAILS 6" ON CENTER AT ALL SHEATHING PANEL EDGES.
- SPACE NAILS 12" ON CENTER AT SHEATHING PANEL INTERIOR. •
- ALL SHEATHING PANEL JOINTS AT BRACED WALL PANELS SHALL OCCUR OVER • FRAMING MEMBER OR HORIZONTAL BLOCKING.

NOTE 2 BRACING METHOD = GB

- 1/2" MINIMUM THICKNESS.
- ALL EDGES AND ENDS SHALL OCCUR OVER FRAMING MEMBERS.
- PROVIDE BLOCKING AS NEEDED.
- GYPSUM BOARD SHEATHING SHALL OCCUR ON BOTH FACES OF BRACED WALL PANEL.
 - NAIL TO ALL FRAMING MEMBERS INCLUDING TOP AND BOTTOM PLATES AS FOLLOWS: 13 GA NAIL, 1 3/4" LONG, 19/64" HEAD OR 6d COOLER NAIL, 0.092" DIAMETER, 1 7/8" LONG, 1/4" HEAD OR GYPSUM BOARD NAIL, 0.0915" DIAMETER, 1 7/8" LONG, 1/4" HEAD ALL NAILS SHALL BE SPACED 4" ON CENTER.

CONTRACTOR NOTE

WALL BRACING METHOD USING CONTINUOUS SHEATHING WITH WOOD STRUCTURAL PANELS (CS-WSP) IS, FOR ALL INTENTS AND PURPOSES, VERY SIMILAR TO CONVENTIONAL METHOD OF SHEATHING A SINGLE FAMILY RESIDENCE WHEN USING APA RATED PLYWOOD OR OSB. SHEATHING MUST COVER ALL EXTERIOR SURFACES INCLUDING ABOVE AND BELOW WALL OPENINGS AND FULL HEIGHT OF GABLES. PAY PARTICULAR ATTENTION TO SPECIAL CONDITIONS OF PORTAL FRAMES, HOLDOWNS AND CONNECTION TO RIM JOISTS AND TRUSS/RAFTER FRAMING AS SHOWN ON PLAN AND DETAILS.

ANCHOR BOLTS

4

- WOOD SILL PLATES OF ALL EXTERIOR WALLS AND ANY INTERIOR BRACED WALL PANELS SHALL BE ANCHORED TO FOUNDATION WALLS OR SOLID SLABS AS FOLLOWS:
- ANCHOR BOLTS SHALL BE 1/2" DIAMETER AND SHALL EXTEND INTO FOUNDATION WALL OR SLAB A MINIMUM OF 7".
- PROVIDE A NUT AND WASHER FOR ALL ANCHOR BOLTS.
- ANCHOR BOLTS SHALL BE SPACED A MAXIMUM OF 4 FT ON CENTER.
- PROVIDE 2 BOLTS MINIMUM PER PLATE SECTION.
- LOCATE BOLTS 12" MAXIMUM AND 6" MINIMUM FROM END OF ANY PLATE SECTION.

NAIL 1/2" MINIMUM THICKNESS APA RATED SHEATHING TO WALL STUDS, TOP PLATES,

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1	10/22/2024	CONSTRUCTION DOCUMENTS					
NO	DATE	ISSUED FOR					
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NO	DATE	REVISION					
report v supervi Engine Signature Typed or Date: COPYR	report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.						
PROJEC	PROJECT NAME: FRANKLIN AVE. HOUSE						
413 WA ⁻	413 FRANKLIN AVE. NW WATERTOWN, MN						
drawin WA DE	ALL BRA TAILS	CING					

DRAWN BY: MAD CHECKED BY: IEB PROJ. NO: 2421 DRAWING NO:

SEE ALSO GENERAL KITCHEN AND BATHROOM NOTES ON A301 & A303.

1

- TX-X" ROUGH OPENING HEAD HT. (ABOVE T.O SUBFLOOR/SLAB)

(#) KEYED SHEET NOTES

- RADON VERTICAL VENT LOCATION, SEE 2 / A551 2 FLOOR DRAIN, SLOPE FLOOR TO DRAIN
- 3 20"x30" ATTIC ACCESS PANEL, SEE 13 / A551
- 4 TUB ACCESS PANEL, SEE 3 / A551
- 5 RECESSED MEDICINE CABINET
- 6 SHELF AND ROD, SEE 6 / A551
- 7 NOT USED
- 8 ROOF EDGE, OVERHEAD (DASHED) 9 LINEN/PANTRY SHELVING, SEE 5 / A551
- 10 LAUNDRY/UTILITY SINK
- 11 WASHER AND DRYER UNITS
- 12 FURNACE
- 15 RADON SYSTEM PERFORATED PIPE BELOW
- 16 HANDRAIL AT WALL, SEE GENERAL UNIT
- 17 CORRUGATED METAL WINDOW WELL

- 19 NOT USED
- 20 SANITARY LINE TYP., SEE CIVIL 21 SUMP BASIN, PUMP TO EJECT WATER TO
- GRADE
- 22 TYP. SANITARY STUB LOCATION (SEE CIVIL) 23 ELECTRIC PANEL
- 24 DROPPED HEADER/BEAM ABOVE (DASHED)
- 25 ALL PLUMBING TO BE LOCATED IN FURRED
- WALL 26 FINISHED END PANEL BACK SIDE OF

CABINETS

2

- 13 WATER HEATER
- 14 WATER SERVICE ENTRY LOCATION
- SLAB
- PLAN NOTES
- SYSTEM, SEE 7 / A511

GENERAL BATHROOM NOTES:

(These apply to all bathrooms)

1. Blocking must be installed in all bathrooms for grab bars, towel bars, dispensers, hooks and rods. All tubs and showers must have built-in blocking for grab bars. Blocking must withstand 250-pound pull.

- 2. Use water resisitant "M-R" (mold-resistant) gypsum board at all plumbing walls, above tub/shower surround and walls adjacent to fixtures. Thickness, fire-rating and wall construction are to be as shown on wall types (Sheet A5.00). 3. When tub is adjacent to exterior walls, remove a 4'x4' section of the poly vapor barrier behind fiberglass tub surround to allow wall to vent moisture. Infill this section
- with breathable weather barrier (tyvek or other) taped at perimeter. **4.** Drywall finishes, including ceiling, shall be smooth.
- 6. Provide side & end backsplash at all walls for all vanity tops.
- 7. Install sealant at these locations:
- a) base of toilet **b)** tub or shower at joint with flooring
- c) tub or shower full perimeter at drywall
- d) vanity splash or end splash to countertop (unless integral)
- e) top and edges of vanity splash at drywall f) all holes and penetrations of wall, floor or ceiling surface at pipes, wires,
- conduits, vents or ducts. Use fire caulk if wall is fire rated.
- 8. Install finishing flange (escutcheon) at wall at any pipe penetrations exposed in room or inside cabinets.
- 9. Install wall base at toe kick and exposed ends of vanity; miter at outside corners.

GENERAL KITCHEN NOTES:

(These apply to all kitchens)

1. Blocking must be installed in all areas where required for mounting cabinets.

- 2. At all penetrations of exterior walls refer to details in drawings for sealant.
- **3.** Construct all soffits to extend 2" beyond face of upper cabinets (minimum).
- 4. Cabinet supplier to supply fillers. Adjust layout to prevent door and drawer interference at inside corners and to
- accommodate all appliances. 5. Cabinet supplier to verify actual dimensions and required clearances for all scheduled appliances. Verify final appliance
- selections with general contractor.
- 6. 30" or 36" upper cabinets shall have two adjustable shelves. 18" and 24" upper cabinets shall have one adjustable shelf.

7. Install base trim at wall behind and adjacent to all refrigerators and ranges. 8. Verify all island and peninsula electrical outlet locations with electrician and provide any necessary cabinet modifications

- for these outlets.
- 9. Provide finished end and back panels at all exposed cabinet ends and backs. 10. Install wall base at back and ends of all island and peninsula cabinets. Miter outside corners.

11. Provide manufacturer's cabinet finish toe-kick surface; trim toe kick back at exposed cabinet ends to make flush corner with wall base.

- 12. Provide end splash at countertop at all sidewalls.
- **13.** Install matching finish trim at top of upper cabinets at soffit.

14. Install matching finish trim at top of drywall or finish panel at underside of all overhanging countertops or peninsula islands

- **15.** Install sealant at these locations: a) backsplash and end splash to countertop (unless integral)
- b) top and edges of backsplash and endsplash at drywall
- c) all holes and penetrations of wall, floor or ceiling surface at pipes, wires, conduits, vents or ducts. Use fire caulk if wall is fire rated.

4

16. Install finishing flange (escutcheon) at wall at any pipe penetrations exposed in room or inside cabinets. 17. Install heat shield (grease shield) behind every range and on sidewall if range is within 6" of sidewall.

GENERAL PLAN NOTES:

- 1. DIMENSIONS AT EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING OR F.O. CONCRETE FOUNDATION WALL. 2. DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- 3. REFER TO WALL TYPES FOR ASSEMBLY DETAILS OF WALLS DESIGNATED WITH IDENTIFIER INSIDE 4. ALL INTERIOR WALLS ARE TYPE P4 WALLS UNLESS NOTED OTHERWISE
- REFER TO ROOM FINISH SCHEDULE FOR INTERIOR FINISH MATERIAL TYPES.
- 7. EXTERIOR WALLS SHALL BE INSULATED AND AIR AND SOUND SEALED. REFER TO DETAIL SHEET FOR INSULATION, VAPOR BARRIER, BOXES AND PENETRATIONS AND SEALANT INFORMATION.
- INSTALL INSULATION IN ALL WALLS CONTAINING PLUMBING PIPES AND AS SHOWN/NOTED ON WALL TYPES (SHEET A500). REFER TO INTERIOR DETAILS FOR INFORMATION ON SHELVES, SOFFITS, ACCESS PANELS, WALL CAPS, ATTIC HATCH, FLOOR TRANSITIONS AND OTHER INFORMATION. INSTALL BLOCKING IN WALL FOR ALL ITEMS AND ACCESSORIES. 10. REFER TO AND COORDINATE ELECTRICAL, HVAC AND PLUMBING LAYOUTS AND DESIGN-BUILD DOCUMENTS WITH ARCHITECTURAL PLANS. COORDINATE LOCATION OF ALL ACCESS PANELS WITH OWNER.

- A) STAIRS AND LANDINGS SHALL BE 3'-0" CLEAR FINISHED DIMENSION, MINIMUM. THE MAXIMUM RISER HEIGHT = 7 3/4". THE MINIMUM TREAD LENGTH = 10"; ALL SHALL BE UNIFORM WITHIN 3/8" WITHIN ANY FLIGHT. MINIMUM HEADROOM = 6'-8". B) PROVIDE HANDRAIL AT ONE SIDE OF EVERY STAIR. HANDRAILS SHALL BE 1.25" TO 2" DIAMETER OR EQUIVALENT MOUNTED AT 34" TO 38" ABOVE NOSE OF TREADS. HANDRAILS SHALL PROVIDE 1.5" CLEARANCE TO WALL AND MUST NOT PROJECT MORE THAN 4.5" FROM WALL.

- RETURN TO WALL OR FLOOR.

- REFER TO DOOR SCHEDULE FOR INFORMATION ON DOORS AND OPENINGS.
- 11. STAIRS AND LANDINGS WITHIN DWELLING UNITS ONLY SHALL COMPLY WITH THE FOLLOWING:
- C) PROVIDE HANDRAILS BRACKETS 5'-0" O.C. (OR CLOSER). INSTALL BLOCKING WHERE NECESSARY AND CONTINUOUS BEHIND HANDRAIL LOCATIONS ON BOTH SIDES, MINIMUM. EACH SECTION OF HANDRAIL SHALL HAVE TWO BRACKETS, MINIMUM. EACH BRACKET SHALL RESIST A LOAD OF 250 POUNDS IN ANY DIRECTION.
- D) HANDRAIL TO EXTEND TO POINTS DIRECTLY ABOVE TOP AND BOTTOM NOSING OF STAIR. END OF HANDRAIL MUST

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CONSULTANT #1:

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	THIS SQUARE A ON FULL SIZE S	PPEARS 1/2"x1/2" HEETS					
NO	10/22/24 DATE	CONSTRUCTION DOCUMENTS					
I HEREBY report was supervisio under the	NODATEREVISIONI HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.						
Signature: _ Typed or Pri Date:1	0/22/2024	MADSON License Number: 50555					
PROJECT	PROJECT NAME: FRANKLIN AVE. HOUSE						
413 FRANKLIN AVE. NW WATERTOWN, MN DRAWING TITLE:							
UNI	Γ FLOO	R PLANS					

DRAWN BY: XXX CHECKED BY: XXX PROJ. NO: 240559 DRAWING NO:

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ROOF VENTILATION

- VENT PRODUCT NFA(NET FREE AREA): LOW- ALUMINUM VENTED SOFFIT = 6.48 SQ. IN./LF OF PRODUCT
- HIGH- RIDGE VENT (**RV**) = 18 SQ. IN/LINEAL FOOT ROOF-MOUNTED 'CAN' VENT (**CV**)= 50 OPEN SQ IN/ UNIT

BUILDING ROOF ATTIC AREA- 1,046SF

- NFA REQUIRED- 1,046SF/300 = 3.49SF (503 SQ. IN.) LOW- VENT. PROVIDED =73.67LF ALUM. VENTED SOFFIT 73.67LF x 6.48 SQ. IN. = 477 SQ. IN.
- HIGH- VENT. PROVIDED= 48.33LF OF RIDGE VENT 48.33LF x 18 SQ. IN. = 870 SQ. IN.
- TOTAL- 477 SQ. IN. + 870 SQ. IN. = 1,347 SQ. IN. REQUIREMENT MET

GARAGE ROOF ATTIC AREA- 484SF

4

- NFA REQUIRED- 484SF/300 = 1.61SF (232 SQ. IN.)
- LOW- VENT. PROVIDED = 22LF ALUM. VENTED SOFFIT 22LF x 6.48 SQ. IN. = 143 SQ. IN. VENT. PROVIDED = 2 ROOF MOUNTED CAN VENTS 2 x 50SQ. IN = 100 SQ. IN.
- HIGH- VENT. PROVIDED= 20.67LF OF RIDGE VENT 20.67LF x 18 SQ. IN. = 372 SQ. IN.
- TOTAL- 143 SQ. IN. + 100 SQ. IN. + 372 SQ. IN. = 615 SQ. IN. **REQUIREMENT MET**

ROOF NOTES

- SOFFITS LOCATED WITHIN 5' OF THE PROPERTY LINE MUST BE FIRE RATED, SEE SITE PLAN AND FIRE RATED SOFFIT DETAIL
 ROOF TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER
- ROOF TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER
 ROOF SLOPES < 4:12 PITCH REQUIRES FULL COVERAGE OF 1 LAYER OF WATERPROOF SHINGLE UNDERLAYMENT PER MANUFACTURERS REQUIREMENTS
- INSTALL WATERPROOF SHINGLE UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. AT EAVES, EXTEND THE UNDERLAYMENT FROM THE ROOF EDGE, UP SLOPE, TO 4'-0" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL. AT VALLEYS, INSTALL A 6'-0" WIDE (MIN) CONTINOUS LENGTH OF UNDERLAYMENT CENTERED ON THE VALLEY FOR ITS ENTIRE LENGTH. AT CRICKETS, INSTALL UNDERLAYMENT OVER ENTIRE CRICKET AREA TO 1'-0" BEYOND CRICKET EDGES. SEE THE SPECIFICATIONS FOR MORE INFORMATION.
- SEE SHEET A541 AND A542 FOR ROOF DETAILS.
 SEE EXTERIOR ELEVATIONS FOR DOWNSPOUT LOCATIONS.

VENTED SOFFIT

(#) KEYED SHEET NOTES

- 1 'CAN' ROOF VENT
- 2 RIDGE VENT, SEE 12 / A541
- 3 GUTTER & DOWNSPOUT
- 4 F.O. WALL SHEATHING BELOW5 ROOF VALLEY, SEE 11 / A541

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ES OVER DRIP EDGE PER	AF	ALUMINUM FASCIA & SOFFIT			
RECOMMENDATIONS	AS	ASPHALT SHINGLES			
	BB	BOARD AND BATTEN TEXTURED VINYL SIDING			
	BE	BOXED EAVE			
	BV	BOX VENT			
	CF	CONCRETE FOUNDATION WALL			
SEE STRUCT.	CRI	CONCRETE SURFACED RIGID INSULATION PANEL			
ENSION	EC	6X6 ENGINEERED COLUMN, W/ CEDAR BASE AND CAPITAL TRIM, PTD.			
EACH TRUSS	EM	ELECTRIC METER			
	GD	GUTTERS & DOWNSPOUTS			
	GM	GAS METER			
	KF	KICKOUT FLASHING - SHOP FABRICATED W/ WATERPROOFING SEAMS			
	LV	LOUVER(S), SEE			
FIT	LS	4" EXPOSURE LAP SIDING			
	ОН	OVERHEAD GARAGE DOOR			
CIA	FT4	1" x 3 1/2" FIBER TRIM			
	FT6	1" x 5 1/2" FIBER TRIM			
YPE AND COLOR	FT8	1" x 8" FIBER TRIM, CUT TO SIZE			
	FT10	1" x 10" FIBER TRIM, CUT TO SIZE			
	RV	RIDGE VENT (SEE ROOF PLANS)			
	SD	PTD. STEEL ENTRY DOOR			
	VW	VINYL SINGLE HUNG WINDOW			

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10/22/24 CONSTRUCTION DOCUMENTS DATE ISSUED FOR DATE REVISION NO I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota. CLUM / DIA Signature: Typed or Printed Name: ANDY MADSON Date: 10/22/2024 License Number: 50555 COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED. PROJECT NAME: FRANKLIN AVE. HOUSE 413 FRANKLIN AVE. NW WATERTOWN, MN DRAWING TITLE: GARAGE PLAN, ELEVATIONS, AND DETAILS

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ON FULL SIZE SHEETS

DRAWN BY: Author CHECKED BY: Checker PROJ. NO: 240559 DRAWING NO:

ELEVATION KEY

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MATTSON MACDONALD YOUNG, INC.

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D

- 2 SOFFIT, OVERHANG CABINET FRONTS 2" TYP.
- 3 FINISHED END PANEL
- 4 BASE TRIM
- 5 GREASE SHIELD
- 6 P. LAM. COUNTER TYP. W/ END SPLASHES AGAINST ADJACENT WALLS
- 7 > 30" ELECTRIC RANGE
- 8 30" RANGE HOOD
- 9 SUPPORT END PANEL
- 10 24" DISHWASHER
- (11) 18 CUB. FT. REFRIGERATOR
- $\langle 12 \rangle$ 4" VALENCE
- (13) P. LAM. COUNTER TOP, OVERHANG 11". ENSURE COUNTER EDGE IS SUPPORTED WITH BLOCKING
- (50) RECESSED MEDICINE CABINET
- (51) 24" TOWEL BAR, TO BE MOUNTED @ 42" A.F.F. UNLESS NOTED
- OTHERWISE (52) PVC BASE TRIM AND WAINSCOT
- 53 SHOWER ROD
- (54) WALL BASE SEE FINISH SCHEDULE
- 55 ROBE HOOK
- 56 FIBERGLASS TUB AND SURROUND
- 57 TOILET PAPER HOLDER
- (58) MIRROR
- (59) VANITY LIGHT, CENTER ON VANITY TOP (60) CULTURED MARBLE TOP - EXTEND 5/8" BEYOND CASEWORK @ OPEN SIDE, & 4" BACK SPLASH WITH SIDE SPLASHES @ CORNER AND LINEN CLOSET LOCATIONS, TYP.
- (61) SOFFIT, ALIGN WITH ADJACENT WALL

4

 $\langle 62 \rangle$ 1/2" FILLER

CASEWORK LEGEND

TYPICAL CABINET TYPE NOMENCLATURE

W=WALL HUNG CABINET B=BASE CABINET F=FULL HEIGHT CABINET

ONENT NOMENCLATURE								
	R=SLIDING DOORS							
	S=PAPER SLOT							
	T=TRASH OPENING							
ONT	V=VENTED							
	W=MICROWAVE							
	X=COUNTERTOP WORKSURFACE							

Z= LAZY SUSAN

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INTERIOR ELEVATIONS

DRAWN BY: XXX CHECKED BY: XXX PROJ. NO: 240559 DRAWING NO:

FERIOR WALL TAG KEY:	
WALL TYPE. SEE LEGEND BELOW.	1/ LHB
WALL RATING* 1h, 2h, 3h, 4h, REFER TO CODE ANALYSIS AND	701 Washington Ave. N, Ste 200 Minneapolis, MN 55401 612.338.2029
CODE PLANS FOR ADDITIONAL INFORMATION	
ATED IF BEARING WALLS (MNBC TABLE 601) AND ONLY FIRE RATED THE INSIDE (MNBC 705.5). THE 5/8" TYPE 'X' GYPSUM BOARD AT THE	CARVER COUNTY CDA
REMENT PER MNBC TABLES 722.6.2(1) AND 722.6.2(2). SEE AREA ELEVATOR ON CODE PLANS FOR EXCEPTION	
	CHASKA, MN 55318
	CONSULTANT #1:
4" BURNISHED CMU VENEER MATERIAL	MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100
FOUNDATION WATERPROOFING ELEVATIONS	MINNEAPOLIS, MN 55401
4 = 2X4 WOOD STUD MATERIAL 6 = 2X6 WOOD STUD WIDTH 8 = 2X8 WOOD STUD WIDTH	
10 = 2X10 WOOD STUD	
6 = 6" ACTUAL WIDTH	
12 = 12" ACTUAL WIDTH 14 = 14" ACTUAL WIDTH	
12 = 12" NOMINAL CMU	
	THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS
	10/22/24 CONSTRUCTION DOCUMENTS NO DATE ISSUED FOR
	NO DATE REVISION
	I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct
AIR SPACE, 3/8"	supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
PANEL SIDING, SEE ELEVATIONS	1 M
2 6 3/8" FURRING	Signature:
	Typed or Printed Name: ANDY MADSON
	Date: 10/22/2024 License Number: 50555 CODVDICHT 2024 RX LHR NO. ALL RICHTS RESERVED
WD6 FP#	PROJECT NAME:
	FRANKLIN AVE. HOUSE
SHEET APPLIED WEATHER BARRIER	
WOOD FRAMING, SEE STRUCTURAL	413 FRANKLIN AVE. NW
LAP SIDING VAPOR RETARDER	WAIERIOWN, MN
R-21 BATT INSULATION 5/8" GYPSUM BOARD	
	ASSEMBLIES
WD6 FL#	
TING REFERENCE ASSEMBLIES NOTES	
	DRAWN BY: Author CHECKED BY: Checker
6 WOOD STUD WITH INSULATED SHEATHING 1 1/2"=1'-0"	PROJ. NO: 240559 A500

MATTSON MACDONALD YOUNG, INC.

1

STAIR LANDING- T.O. SUBFLOOR

_ _ <u>T.O. CONCRETE LEDGE</u> 93'-1 3/4" FINISH FLOOR, SEE FINISH SCHEDULE TREATED 2X CUT TO SIZE TO MATCH WIDTH OF STEM

_____<u>T.O. CONCRETE LEDGE</u> 92'-9 3/4"

INSTALL WATERPROOFING AT SIDES OF DOOR SPRAY FOAM INSULATION, R-15.

EXTEND 8" BEYOND DOOR JAMBS TREATED 2X4 NAILER

- CIP FOUNDATION WALL

SELF-ADHERED MODIFIED **BITUMINOUS SHEET** WATERPROOFING, INSTALL OVER TOP OF FOUNDATION WALL

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CIP6 #

CIP12

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6"

5 FOUNDATION AT REAR PORCH A512 3" = 1'-0"

PREFINISHED METAL

INSULATION PROTECTION

___|| |||= __|| '|=

1 FOUNDATION AT FRONT PORCH A512 3" = 1'-0"

3

FIRST FLOOR - T.O. SUBFLOOR

FINISH FLOOR, SEE FINISH SCHEDULE

TREATED 2X CUT TO SIZE TO

MATCH WIDTH OF STEM

_ T.O. CONCRETE LEDGE

OPENING

T.O. CONCRETE LEDGE

INSTALL WATERPROOFING AT SIDES OF DOOR

- FINISH FLOOR, SEE FINISH SCHEDULE _____<u>T.O. CONCRETE LEDGE</u> 92'-9 3/4"

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET CHASKA, MN 55318

CONSULTANT #1:

MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401

TREATED 2X4 NAILER

VAPOR BARRIER

1" x 5 1/2" FS TRIM TREATED SILL PLATE

CONTINOUS SEALANT

BASE TRIM, SEE FINISH SCHEDULE

(5 (A500)

FOUNDATION STEM WALL

MECHANICALLY FASTENED SHEET AIR AND WATER BARRIER, LAP

SILL PLATE ANCHORAGE, SEE STRUCT.

OVER INSULATION PROTECTION METAL, TAPE W/ WRB TAPE

SELF-ADHERED MODIFIED BITUMINOUS SHEET WATERPROOFING, INSTALL OVER TOP OF FOUNDATION WALL

T.O. CONCRETE 100'-5 3/4"

FIRST FLOOR - T.O. SUBFLOOR

- FINISH FLOOR, SEE FINISH SCHEDULE

- TREATED 2X4

- TREATED 2X4 NAILER

- CIP FOUNDATION WALL

SELF-ADHERED MODIFIED

TOP OF FOUNDATION WALL

BITUMINOUS SHEET WATERPROOFING, INSTALL OVER

THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS

10/22/24 NO

DATE

ISSUED FOR

CONSTRUCTION DOCUMENTS

NO DATE REVISION

I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: CMM / DM4

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555 COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME: FRANKLIN AVE. HOUSE

413 FRANKLIN AVE. NW WATERTOWN, MN

DRAWING TITLE:

EXTERIOR DETAILS

DRAWN BY: XXX CHECKED BY: XXX PROJ. NO: 240559 DRAWING NO:

5

1

FOUNDATION AT STEM WALL (NON BEARING) A513 3" = 1'-0"

3

4 FOUNDATION AT PONY WALL (NON BEARING) ⁴ 3" = 1'-0"

4

VAPOR BARRIER MECHANICALLY FASTENED SHEET AIR AND WATER BARRIER, LAP OVER INSULATION PROTECTION METAL, TAPE W/ WRB TAPE 701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029 - 1" x 5 1/2" FS TRIM SILL PLATE ANCHORAGE, SEE STRUCT. CLIENT: TREATED SILL PLATE CARVER COUNTY CDA CONTINOUS SEALANT T.O. CONCRETE 100'-5 3/4" _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ FOUNDATION STEM WALL BASE TRIM, SEE FINISH SCHEDULE 705 N. WALNUT STREET - FINISH FLOOR, SEE FINISH SCHEDULE CHASKA, MN 55318 CONSULTANT #1: FIRST FLOOR - T.O. SUBFLOOR MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401 - TREATED 2X4 SELF-ADHERED MODIFIED **BITUMINOUS SHEET** WATERPROOFING, INSTALL OVER TOP OF FOUNDATION WALL В С Α D Ε - CIP FOUNDATION WALL G Η KEYPLAN THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS 10/22/24 CONSTRUCTION DOCUMENTS DATE ISSUED FOR NO BASE TRIM, SEE FINISH SCHEDULE DATE REVISION NO I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota. Signature: CMM / M Typed or Printed Name: ANDY MADSON Date: 10/22/2024 License Number: 50555 COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED. PROJECT NAME: MECHANICALLY FASTENED SHEET AIR FRANKLIN AVE. HOUSE AND WATER BARRIER, LAP OVER INSULATION PROTECTION METAL, TAPE 413 FRANKLIN AVE. NW WATERTOWN, MN SILL PLATE ANCHORAGE, SEE STRUCT DRAWING TITLE: EXTERIOR DETAILS

DRAWN BY: Author

CHECKED BY: Checker

PROJ. NO: 240559

DRAWING NO:

A513

WATERPROOFING, INSTALL OVER TOP OF FOUNDATION WALL

D

LAP WEATHER RESISTIVE BARRIER OVER FLASHING FIBER SUBSTRATE LAP SIDING

SHT. MTL. FLASHING W/ HEMMED EDGE MODIFIED ASPHALT MEMBRANE WATERPROOFING ASPHALT SHINGLES

WEATHER RESISTIVE BARRIER - EXTEND UP ABOVE ROOF & BEHIND FLASHING

5

4

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET CHASKA, MN 55318

CONSULTANT #1:

DETAILS

DRAWN BY: Author

CHECKED BY: Checker

PROJ. NO: 240559

DRAWING NO:

A541

MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401

Α

1

A542

2

D

С

NON-RATED EAVE @ 10/12 SLOPE A542 1 1/2" = 1'-0"

4

ASPHALT ROOF SHINGLES INSULATION BAFFLE ROOF SHEATHING TRUSS W/ EAVE EXTENSION EXTEND SHEATHING, & WEATHER

under the laws of the State of Minnesota.

PROJECT NAME:

DRAWING TITLE:

Signature: CMM / DM

Typed or Printed Name: ANDY MADSON

Date: 10/22/2024 License Number: 50555

413 FRANKLIN AVE. NW

WATERTOWN, MN

ROOF DETAILS

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FRANKLIN AVE. HOUSE

supervision and that I am a duly Licensed Architect

report was prepared by me or under my direct

DATE NO I HEREBY CERTIFY that this plan, specification, or

REVISION

10/22/24 CONSTRUCTION DOCUMENTS DATE ISSUED FOR NO

ON FULL SIZE SHEETS

THIS SQUARE APPEARS 1/2"x1/2"

MODIFIED ASPHALT MEMBRANE - OVERHANG SHINGLES PER MFR'S RECOMMENDATIONS CUT BOTTOM OF TYP. 2X8 SUBFASCIA TO ACCOMODATE - 5/8" 'TYPE X' GYPSUM SHEATHING - NO OPENINGS

CLIENT:

CARVER COUNTY CDA

MATTSON MACDONALD YOUNG, INC.

705 N. WALNUT STREET

CHASKA, MN 55318

CONSULTANT #1:

105 5TH AVE. S. SUITE 100

MINNEAPOLIS, MN 55401

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

MATTSON MACDONALD YOUNG, INC.

DOOR SCHEDULE										
DOOR					FRAME	HARDWARE				
NUMBER	TYPE	LEAF QTY	WIDTH	HEIGHT	TYPE	GROUP	COMMENTS			
10	A,C	1	3' - 0"	6' - 8"	PREHUNG	1	ENTRY			
11	В	1	3' - 0"	6' - 8"	PREHUNG	3	GARAGE			
20	D	1	3' - 0"	6' - 8"	PREHUNG	5	BATH			
30	D	1	3' - 0"	6' - 8"	PREHUNG	5	BEDROOM			
40	D	1	1' - 6"	6' - 8"	PREHUNG	4				
41	D	1	2' - 6"	6' - 8"	PREHUNG	4				
42	D	1	2' - 8"	6' - 8"	PREHUNG	4				
43	D	1	3' - 0"	7' - 0"	PREHUNG	4	LAUNDRY / UNFINISHED			
50	F	2	4' - 0"	6' - 8"	PREHUNG	6				
51	F	2	5' - 0"	6' - 8"	PREHUNG	6				
60	E		3' - 0"	6' - 8"		8				
70	G		16' - 0"	7' - 0"		7	O.H. DOOR			

DOOR SCHEDULE COMMENTS

A. XXX

B. XXX

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT: CARVER COUNTY CDA

705 N. WALNUT STREET CHASKA, MN 55318

CONSULTANT #1:

MATTSON MACDONALD YOUNG, INC. 105 5TH AVE. S. SUITE 100 MINNEAPOLIS, MN 55401

THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS 10/22/24 CONSTRUCTION DOCUMENTS DATE ISSUED FOR NO DATE NO REVISION I HEREBY CERTIFY that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota. Signature: Typed or Printed Name: ANDY MADSON Date: 10/22/2024 License Number: 50555 COPYRIGHT 2024 BY LHB, INC. ALL RIGHTS RESERVED. PROJECT NAME: FRANKLIN AVE. HOUSE 413 FRANKLIN AVE. NW WATERTOWN, MN DRAWING TITLE: DOOR DETAILS & SCHEDULE

DRAWN BY: XXX CHECKED BY: XXX PROJ. NO: 240559 DRAWING NO:

